

5.0 BUILDING STANDARDS

5.1. BUILDING STANDARDS

A. Purpose. This Section provides design standards for individual buildings to ensure that proposed development is consistent with the City's goals for building form, physical character, land use, and quality.

B. Applicability. Each building shall be designed in compliance with the applicable general requirements in Section 5.2 and all applicable requirements of the California Building and Fire Codes as amended and adopted by the City. (See Chap. 10, Art. 5 and Chap. 11, Art. 1)

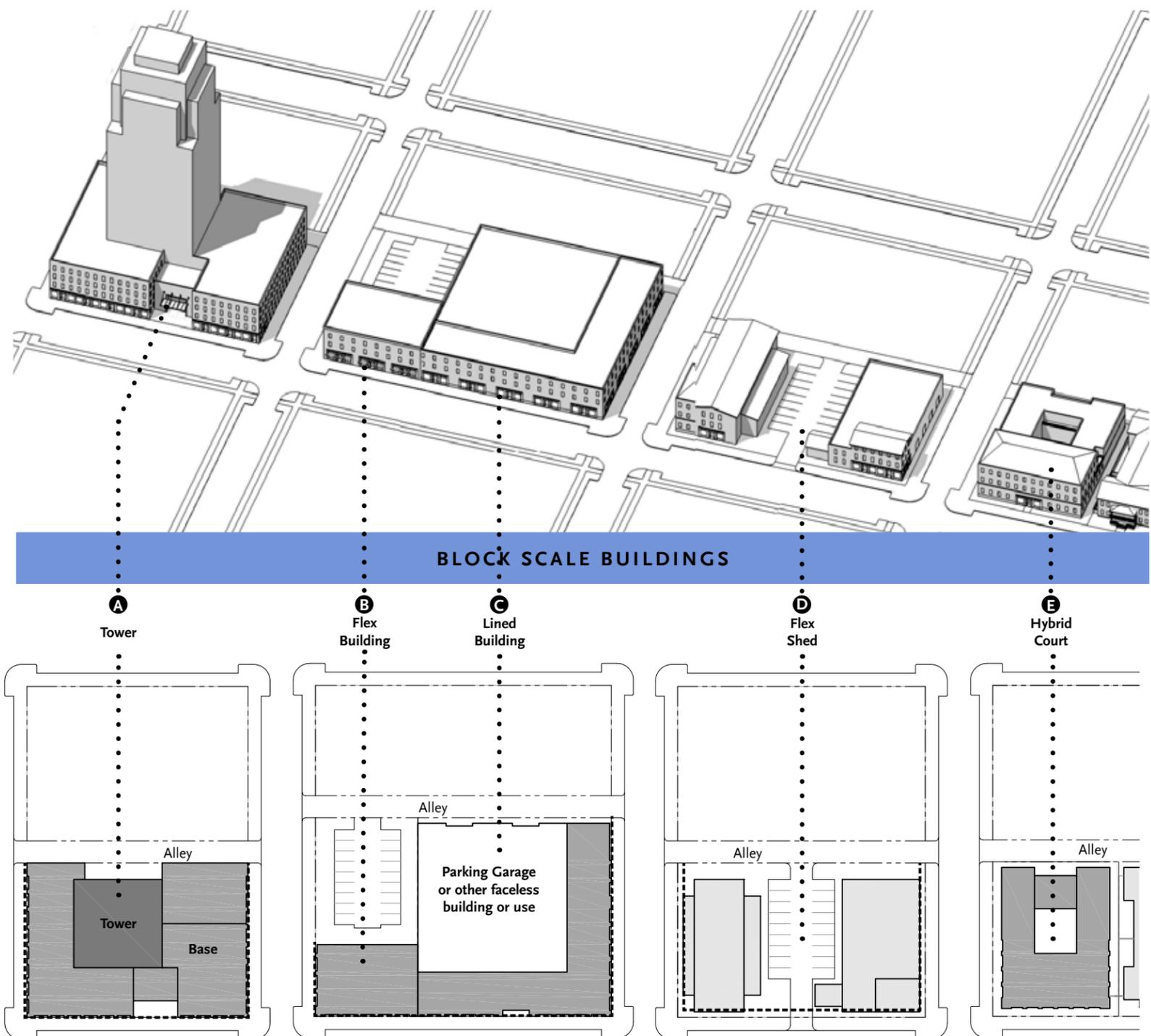
Proposed buildings within the Downtown Code boundaries shall comply with the applicable requirements of the zoning district and overlay identified for the property in Figure 2.

C. Allowed Building Types by Zoning District. Each proposed building or existing building modification shall be designed as one of the building types allowed for the zoning district applicable to the site as identified in Table 5.

D. Design Objectives.

1. Support the intended physical environment;
2. Generate no more than one main building per individual building site;
3. Generate buildings that front the adjacent street or streets;
4. Comply with the applicable requirements of the Downtown Code.

DIAGRAM 5A: ALLOWABLE BUILDING TYPES Note: Diagram 5A illustrates the range of allowed building types. See Table 5 for individual requirements.



ALLOWED BUILDING TYPES

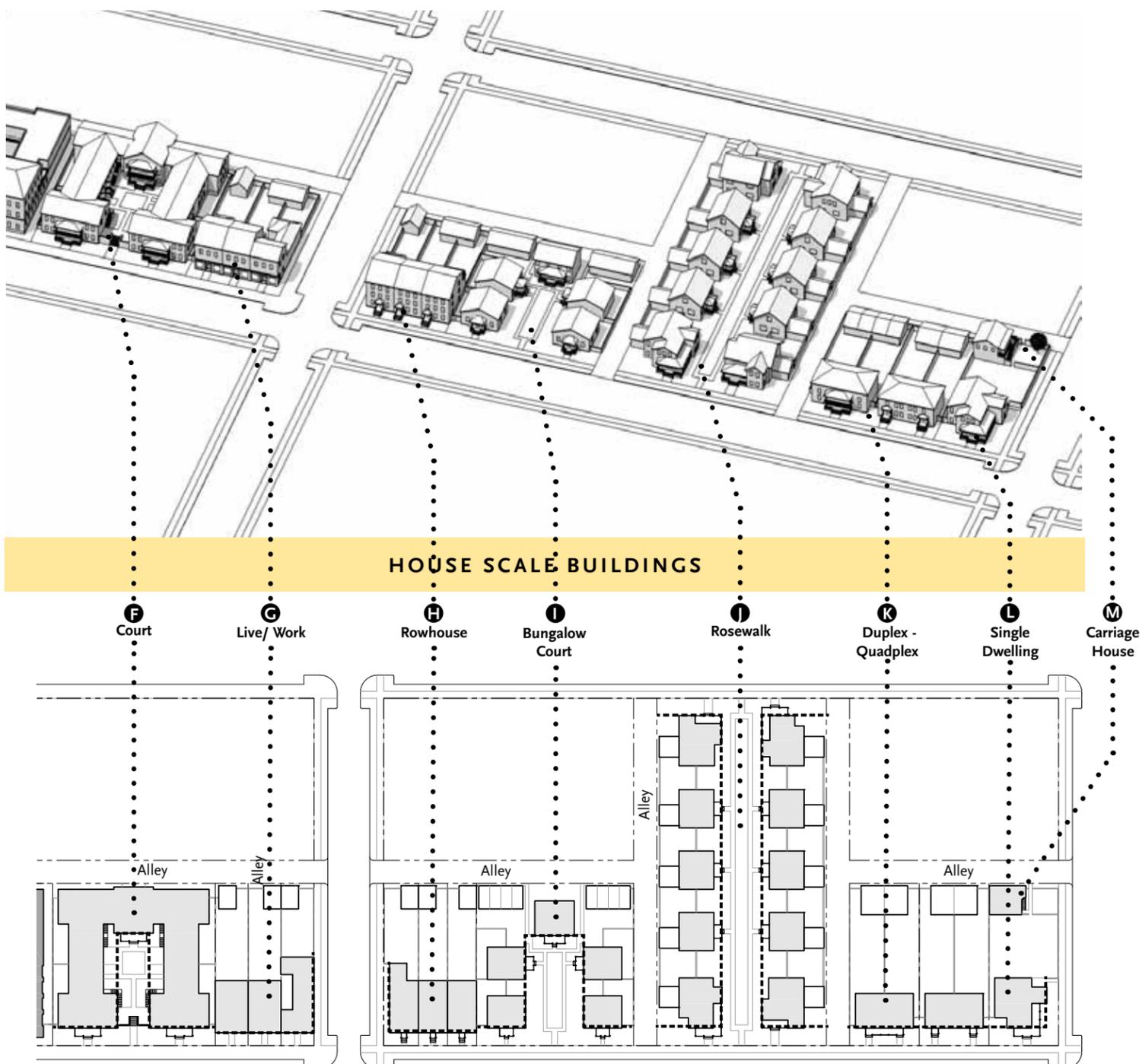
TABLE 5

Building Type	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
A. Tower	See Table 5A	See Table 5A	See Table 5A	X	X	X	X	X	X	X	X	X	X	X	X	X
B. Flex Building	See Table 5B	See Table 5B	See Table 5B	See Table 5B	See Table 5B	See Table 5B	See Table 5B	See Table 5B	X	X	X	X	See Table 5B	See Table 5B	See Table 5B	See Table 5B
C. Lined Building	See Table 5C	See Table 5C	See Table 5C	See Table 5C	See Table 5C	See Table 5C	See Table 5C	X	X	X	X	X	X	X	X	X
D. Flex Shed	X	X	X	See Table 5D	See Table 5D	X	X	See Table 5D	X	X	X	X	See Table 5D	See Table 5D	See Table 5D	See Table 5D
E. Hybrid Court	X	X	See Table 5E	See Table 5E	See Table 5E	See Table 5E	X	See Table 5E	X	X	See Table 5E	X	X	X	See Table 5E	See Table 5E
F. Court	X	See Table 5F	See Table 5F	See Table 5F	See Table 5F	See Table 5F	See Table 5F	See Table 5F	See Table 5F	X	See Table 5F	See Table 5F	X	X	X	See Table 5F
G. Live/Work	See Table 5G	See Table 5G	X	See Table 5G	See Table 5G	See Table 5G	See Table 5G	See Table 5G	See Table 5G	X	X	X	See Table 5G	X	See Table 5G	See Table 5G
H. Rowhouse	X	See Table 5H	X	See Table 5H	X	X	X	See Table 5H	See Table 5H	X	X	X	X	X	X	See Table 5H
I. Bungalow Court	X	X	X	X	X	X	X	X	See Table 5I	See Table 5I	See Table 5I	X	X	X	X	See Table 5I
J. Rosewalk	X	X	X	X	X	X	X	X	See Table 5J	See Table 5J	See Table 5J	X	X	X	X	See Table 5J
K. Duplex - Quadplex	X	X	X	X	X	X	X	See Table 5K	See Table 5K	See Table 5K	See Table 5K	X	X	X	X	See Table 5K
L. Single Dwelling	X	X	X	X	X	X	X	X	See Table 5L	See Table 5L	See Table 5L	See Table 5L	X	X	X	See Table 5L
M. Carriage House	X	X	X	X	X	X	X	X	See Table 5M	See Table 5M	See Table 5M	See Table 5M	X	X	X	See Table 5M

KEY TO TABLE 5

X Building Type not allowed in Zoning District

See Table 5D Building Type allowed in Zoning District. See reference for requirements.



5.0 BUILDING STANDARDS

5.2 GENERAL REQUIREMENTS FOR BUILDINGS

The following requirements apply to all buildings subject to the Downtown Code. Standards listed under each building type supplement or supersede those identified in this Section.

A. Building Site Standards.

All buildings shall be designed per the applicable building site width and depth standards to ensure that new buildings and the areas between them are built to the scale and character of surrounding buildings as follows:

1. A site may consist of more than one building site in compliance with the applicable building site standards for the building type(s).
2. All new or modified building sites shall front a street or open space (public or private) that is in compliance with the standards in Section 1 for the applicable building type.
3. A building site shall not contain more than one main building and may contain accessory buildings as allowed by Section 5.0. Each building site is not required to be a legally recorded parcel and may be conceptual or strictly for the purpose of accommodating the corresponding building.
4. Projects that are proposed on a site larger than one building and its corresponding lot shall be required to prepare a site plan that shows the distribution of building sites and buildings on the property per the requirements of Section 5.0. The property owner may cause the conceptual lot lines to become permanent, legal lot lines through the tract or parcel map process as applicable.

B. Building Size and Massing Standards.

All buildings shall be designed per the applicable building size and massing standards identified in Subsection 2 for the applicable building type.

1. As allowed by Section 1.4B9, the Planning Director may adjust the applicable building size standard by up to the amount specified in Table 1B subject to the required findings.
2. Each building may be designed for as many dwellings and/or non-residential square footage as desired while complying with all applicable requirements of the Downtown Code.

C. Pedestrian Access Standards.

1. Pedestrian access to main buildings must be provided directly through an allowed frontage type and/or open space from the primary or side street.

D. Permitted Density Standards.

1. External stairs are allowed only for the following building types and subject to the requirements of the type: Carriage House, Single Dwelling, Duplex, Rosewalk, Bungalow Court, Court, and Hybrid Court. External stairs may encroach into setback areas.

E. Parking and Service Access Standards.

1. For lots with alley access, parking and service areas shall be accessed through the alley.
2. For interior lots without alley access, parking and service areas shall be accessed from the front.

3. For corner lots without alley access, parking and service areas shall be accessed from the side street as close to the rear property line as possible. In the case that the side street is the larger street (e.g., carries more traffic) parking and service areas shall be accessed from the smaller street (e.g., the street that carries less traffic).
4. Entrances to parking lots, garages, subterranean garages and/or driveways shall be located per the zoning district requirements in Section 4.0 'Development Standards', as close as possible to the side/rear of each lot so as not to interfere with or detract from the facades along the front and side frontages.
5. Services (utility access, above-ground equipment, and trash enclosures) shall be accessed through the alley when an alley is present. When an alley is not present, services shall be located in sideyards or in the rear of the lot and shall be screened from view of the street.

F. Parking Location Standards.

1. On-site parking shall be located per the applicable requirements of the zoning district.
2. On-site parking may be shared as allowed in the zoning district.

G. Service Location Standards.

1. Rooftop equipment shall be incorporated into the design of the roof and/or screened by a parapet that is architecturally integral to the building.
2. Utility access, above-ground equipment and trash enclosures shall be located in side yards or at the rear of the property when accessible by an alley.

H. Open Space and Landscape Standards.

1. Each building shall comply with the applicable requirements in Subsection 7 for the applicable building type.
2. All required yards shall be landscaped, properly maintained, and be provided with automatic irrigation systems.
3. Open spaces located over garages shall provide design elements such as seating areas, fountains, outdoor fireplaces, gardens, and/or rooftop bars to accommodate their use as outdoor rooms.
4. All trees in tree wells shall be provided with automatic irrigation systems.

I. Storage Standards.

1. Buildings with 3 or more dwellings shall provide enclosed storage area of at least 50 square feet per dwelling. The storage area may be within the dwelling or within the parking area provided that the storage area does not interfere with required access or a required yard.

J. Frontage Standards.

All lot lines bordering a street (public or private) or public open space are subject to frontage standards in Section 6.0 as follows:

1. Entrance doors, and public rooms such as living rooms and dining rooms shall be oriented toward the street and/or on-site open space.

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2. Service rooms shall be oriented away from the street and on-site open space.
3. Building facades shall be designed in compliance with the requirements for front and side street facades in Section A.3 of the applicable zoning district development standards.

K. Sustainable Stormwater Standards

1. Each building shall comply with the applicable City requirements.
2. Stormwater shall be collected and reused to the extent possible, as determined by the Planning Director or designee through any of the following as applicable to the site and its context:
 - i. Rain gardens
 - ii. Pervious paving systems
 - iii. Flow-through or infiltration planters
 - iv. Hollywood driveways
 - v. Disconnected downspouts
 - vi. Rain barrels
 - vii. Cisterns

5.3 REQUIRED FINDINGS

The City shall approve applications involving Section 5.0 only if it is found that:

1. The application is in conformance with Table 5 and the applicable requirements for the zoning district(s) identified in Figure 2.
2. The application meets the minimum requirements for building placement and building size, as allowed to be adjusted by 1.4B.9;
3. The proposed design / modification does not disrupt or detract from the general pattern of conforming buildings on the same block face and of the block face across the street;
4. The proposed design / modification does not cause vehicular access conflicts with adjacent property; and
5. The proposed design / modification does not create an incompatible situation such as overlooking of a rear yard.

TABLE 5A TOWER (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Tower standards shall comply with all applicable requirements of Table 5A for the identified zoning district.
- B. Description and Intent:** A building organized around a central core. The first four floors of this building type are expressed as a base that defines the streetscape. This allows for pedestrian-scale mid-rise buildings to define the street frontage with tall, thin towers or slabs extending higher, ensuring that the massing of tall buildings is in the

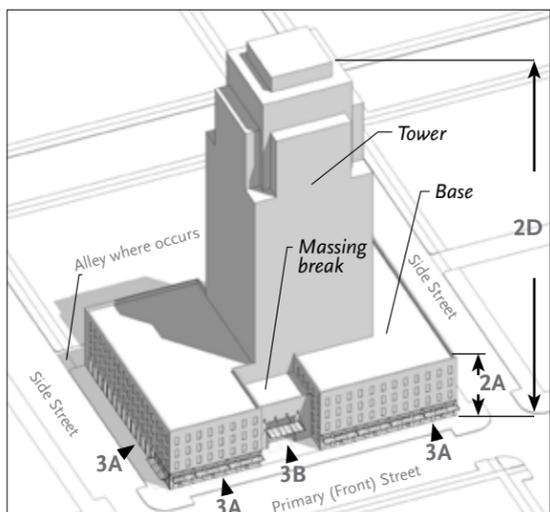
spirit of Downtown's historic towers, as well as diminishing shadows on the street and on adjacent properties.

- C. Lot and Building Requirements:** Each Tower building shall comply with the requirements of Table 5A.
- D. Lot and Building Configuration:** Each Tower building may be designed and configured on its site in any manner consistent with the requirements of Table 5A. Examples of configurations are shown in Diagram 5A.

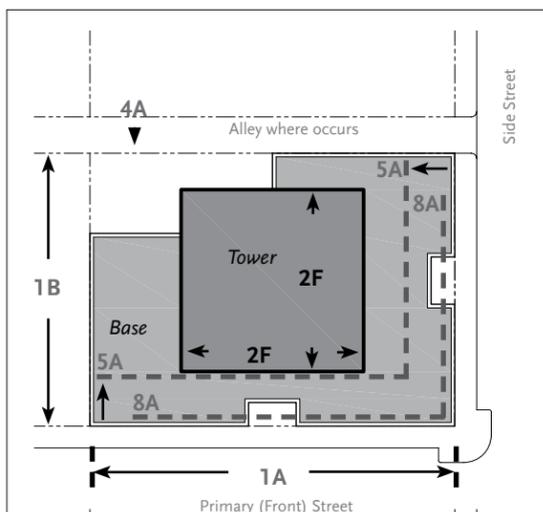
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	400 max			NOT ALLOWED												
B. Depth (ft)	150 max			NOT ALLOWED												
2. Building Size and Massing																
A. Base Height (stories)	2 - 4	4 max	4 max	NOT APPLICABLE												
B. Base Length (ft)	400 max, but if over 200 feet, must provide 30 ft x 30 ft massing break			NOT APPLICABLE												
C. Base Width (ft)	150 max			NOT APPLICABLE												
D. Tower Height (stories)	15 max	10 max	10 max	NOT APPLICABLE												
E. Tower Length (ft)	200 max			NOT APPLICABLE												
F. Tower Width (ft)	120 max			NOT APPLICABLE												
3. Pedestrian Access																
A. Ground Floor	direct access from sidewalk			NOT APPLICABLE												
B. Upper Floors	direct access from street level lobby			NOT APPLICABLE												
4. Parking and Service Access																
A. Lot with alley	from alley			NOT APPLICABLE												
B. Lot without alley	via driveway located as close to side yard property line as possible			NOT APPLICABLE												
C. Corner lot without alley	from side street via driveway located as close to side yard property line as possible			NOT APPLICABLE												
5. Parking Location																
A. Required parking	subterranean, ground and second floor: min 30 ft from primary property line upper floors: allowed to all setbacks			NOT APPLICABLE												
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	adjacent to alley			NOT APPLICABLE												
B. Lot without alley	as close to side yard and/or rear yard property line as possible			NOT APPLICABLE												
7. Open Space and Landscape (required for residential uses only)																
A. Balcony	50 sq ft min in lieu of or in addition to shared open space			NOT APPLICABLE												
B. Shared	3,500 sf min. if balconies not provided; may be provided on roof			NOT APPLICABLE												
8. Frontage																
A. Base	90% min. along primary street, side street, and open space frontages per allowed frontage types per Section 6.0			NOT APPLICABLE												
B. Tower	along a public street or open space: per Section 10.0 General Standards			NOT APPLICABLE												

TOWER TABLE 5A

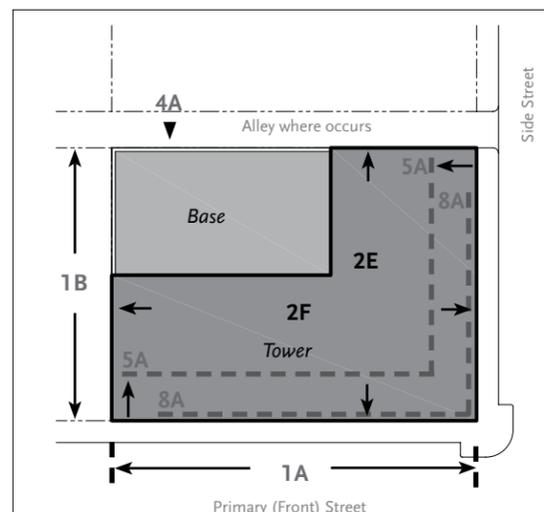
DIAGRAM 5A



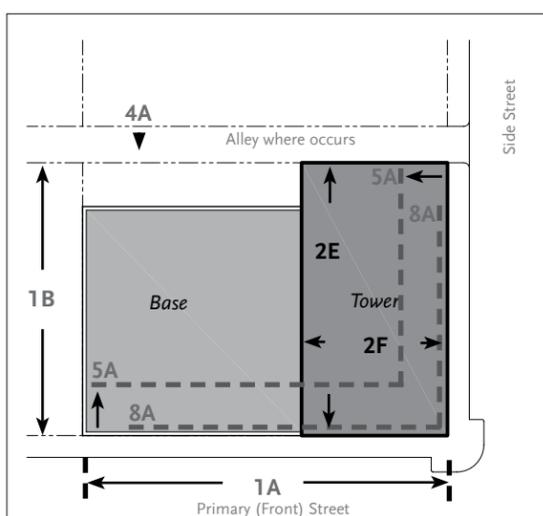
Illustrative Massing Diagram



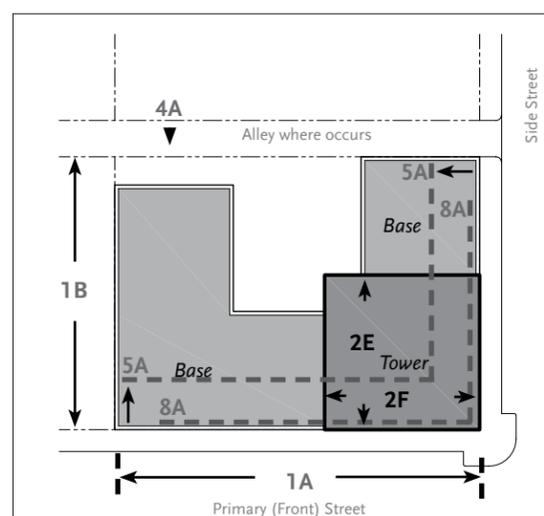
A central tower sits on a base



An L-shaped tower sits towards the front of the site



A linear tower sits towards the front of the site



A narrow tower site at the corner of the site



Lofts above ground floor retail create a pedestrian-scaled podium base for the tower



Towers sit on podiums set back from the street in order to reduce the presence of buildings at the street and allow sunlight to reach the public realm



The corner tower with shopfront wings as the base create a prominent street presence

TABLE 5B FLEX BUILDING (BLOCK-SCALE BUILDING)

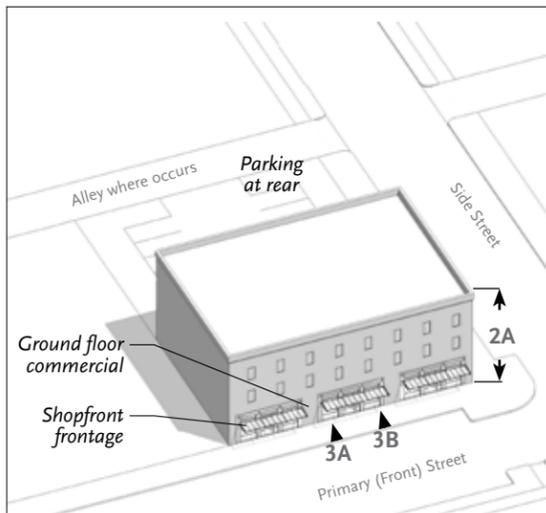
- A. Requirements.** Buildings designed per the Flex-Building standards shall comply with all applicable requirements of Table 5B for the identified zoning district.
- B. Description and Intent:** A building type designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. Second floor units may be directly accessed from the street through a stair; upper floors are accessed through a street level lobby.

- C. Lot and Building Requirements:** Each Lined Flex-building shall comply with the requirements of Table 5B.
- D. Lot and Building Configuration:** Each Lined Flex-building may be designed and configured on its site in any manner consistent with the requirements of Table 5B. Examples of configurations are shown in Diagram 5B.

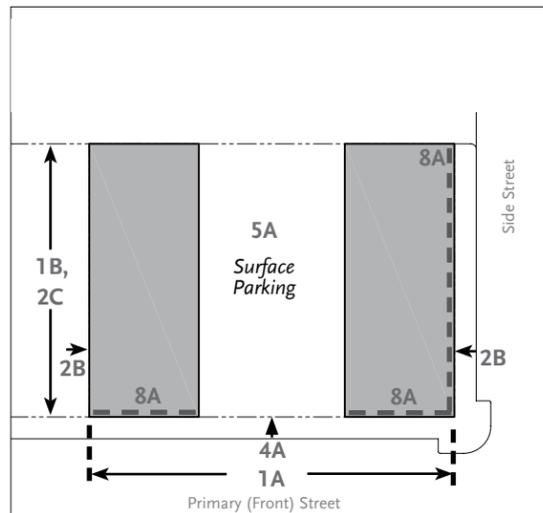
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	400 max			200 max			100 max	200 max	NOT APPLICABLE				no max	no max	no max	200 max
B. Depth (ft)	150 max												no max	no max	no max	150 max
2. Building Size and Massing																
A. Height (stories)	2-5	5 max		3 max	5 max	5 max	3 max	3 max	NOT APPLICABLE				3 max	3 max	3 max	3 max
B. Length along front (ft)	400 max, but if over 200 feet, must provide 30 ft x 30 ft massing break			200 max			100 max	200 max	NOT APPLICABLE				no max	no max	no max	200 max
C. Length along side yard (ft)	150 max			150 max			125 max	125 max	NOT APPLICABLE				no max	no max	no max	125 max
3. Pedestrian Access																
A. Ground Floor	direct access from sidewalk								NOT APPLICABLE				direct access from sidewalk, anywhere on site		direct access from sidewalk	
B. Upper Floors	direct access from street level lobby								NOT APPLICABLE				direct access from sidewalk, anywhere on site		direct access from street level lobby	
4. Parking and Service Access																
A. Lot with alley	from alley								NOT APPLICABLE				from alley			
B. Lot without alley	via driveway located as close to side yard property line as possible								NOT APPLICABLE				via driveway located as close to side yard property line as possible			
C. Corner lot without alley	from side street via driveway located as close to side yard property line as possible								NOT APPLICABLE				via driveway located as close to side yard property line as possible			
5. Parking Location																
A. At Grade	rear, tuck under per Section 4.0 Development Standards							side, rear, tuck under	NOT APPLICABLE				front, side, rear, tuck under		rear, tuck under	
B. Upper Flrs	allowed						not allowed	allowed	NOT APPLICABLE				allowed, per Section 10.0 General Standards		not allowed	
C. Roof	allowed, per Section 10.0								NOT APPLICABLE				NOT APPLICABLE			
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	adjacent to alley								NOT APPLICABLE				adjacent to alley			
B. Lot without alley	as close to side yard and/or rear yard property line as possible								NOT APPLICABLE				not required		as close to side yard and/or rear yard property line as possible	
7. Open Space and Landscape (required for residential uses only)																
A. Balcony	50 sq ft min in lieu of or in addition to shared open space								NOT APPLICABLE				not required			
B. Shared	1,600 sf min. if balconies not provided; may be provided on roof								NOT APPLICABLE				not required			
8. Frontage																
A. Ground Floor	along a public street or open space: per allowed frontage types: per Section 6.0								NOT APPLICABLE							
B. Upper Floors	along a public street or open space: per Section 10.0 General Standards								NOT APPLICABLE							

FLEX BUILDING TABLE 5C

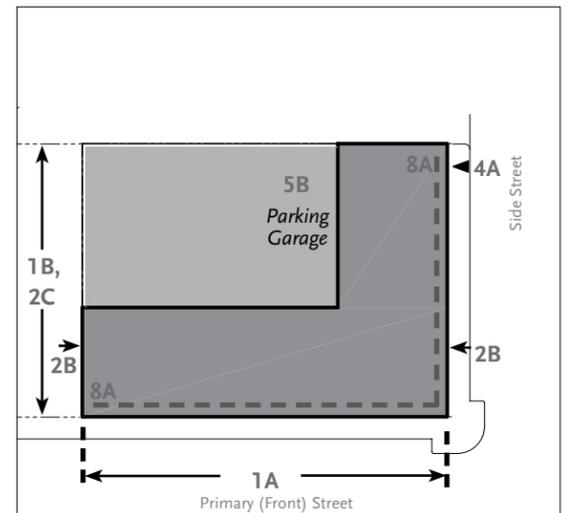
DIAGRAM 5B



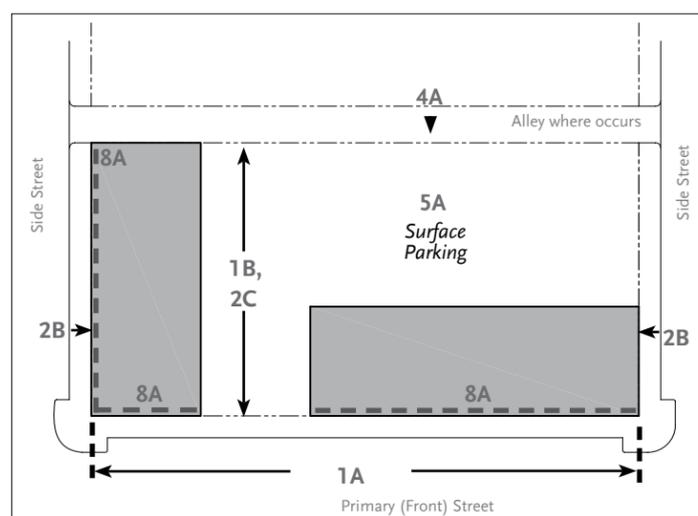
Illustrative Massing Diagram



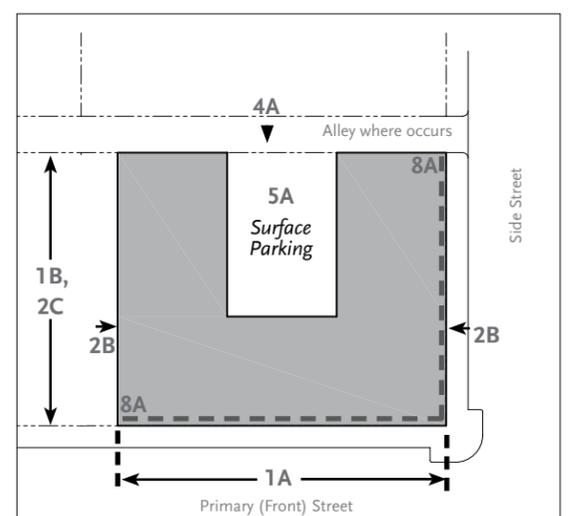
Two buildings with surface parking located between them.



An L-shaped massing with subterranean parking accessed from side



Two buildings front the street while providing surface parking



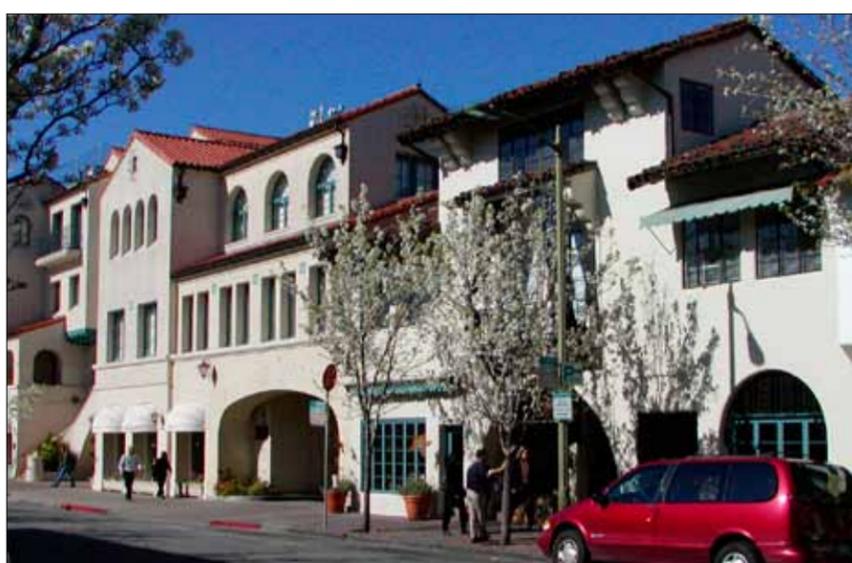
A U-Shaped massing with subterranean parking accessed from alley



Lofts with balconies sit atop a grocery store



Stacked dwelling units with balconies and large fenestrations sit atop the ground floor retail



Parking is accessed through the building and placed at the rear

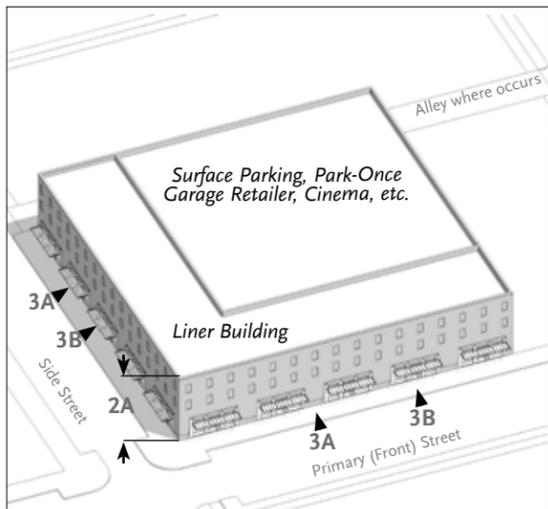
TABLE 5C LINED BUILDING (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Lined Building standards shall comply with all applicable requirements of Table 5C for the identified zoning district.
- B. Description and Intent:** A building that conceals a public (Park-Once) garage or other large scale faceless building, (such as a movie theater, or "big box" store) designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. The access corridor, if applicable, is included in the minimum depth.
- C. Lot and Building Requirements:** Each Lined Building shall comply with the requirements of Table 5C.
- D. Lot and Building Configuration:** Each Lined Building may be designed and configured on its site in any manner consistent with the requirements of Table 5C. Examples of configurations are shown in Diagram 5C.

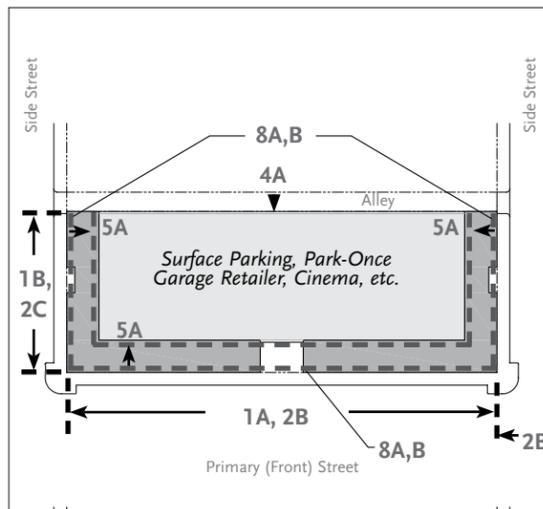
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	400 max			200 max			100 max	NOT APPLICABLE								
B. Depth (ft)	150 max															
2. Building Size and Massing																
A. Height (stories)	2-5	5 max		3 max	5 max	5 max	3 max	NOT APPLICABLE								
B. Length along front (ft)	400 max, but if over 200 feet, must provide 30 ft x 30 ft massing break			200 max			100 max									
C. Length along side yard (ft)	150 max			150 max			125 max									
3. Pedestrian Access																
A. Ground Floor	direct access from sidewalk						NOT APPLICABLE									
B. Upper Floors	direct access from street level lobby															
4. Parking and Service Access																
A. Lot with alley	from alley						NOT APPLICABLE									
B. Lot without alley	via driveway located as close to side yard property line as possible															
C. Corner lot without alley	from side street via driveway located as close to side yard property line as possible															
5. Parking Location																
A. At Grade	min 30 ft from primary property line						NOT APPLICABLE									
B. Upper Flrs	allowed to all setbacks					not allowed										
C. Roof	allowed to all setbacks					allowed, per Section 10.0										
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	adjacent to alley						NOT APPLICABLE									
B. Lot without alley	as close to side yard and/or rear yard property line as possible															
7. Open Space and Landscape																
A. Balcony	not required						NOT APPLICABLE									
B. Shared	not required															
8. Frontage																
A. Ground Floor	along a public street or open space: per allowed frontage types: per Section 6.0						NOT APPLICABLE									
B. Upper Floors	along a public street or open space: per Section 10.0 General Standards															

LINED BUILDING TABLE 5B

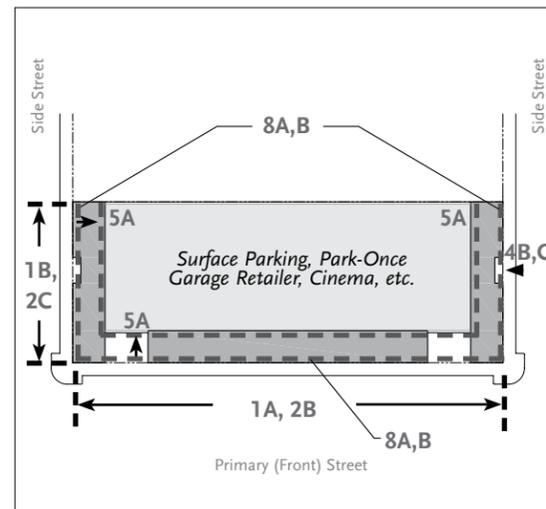
DIAGRAM 5C



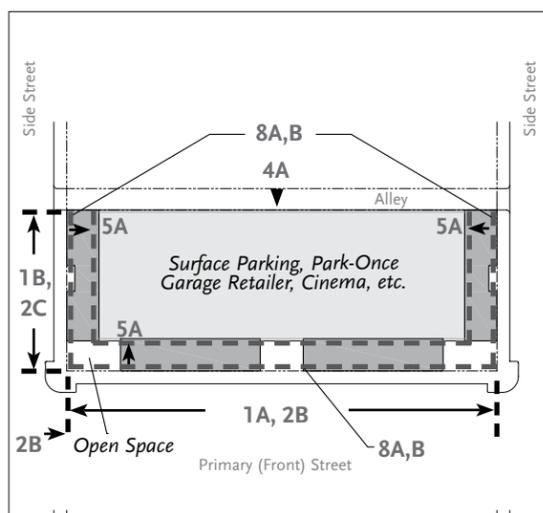
Illustrative Massing Diagram



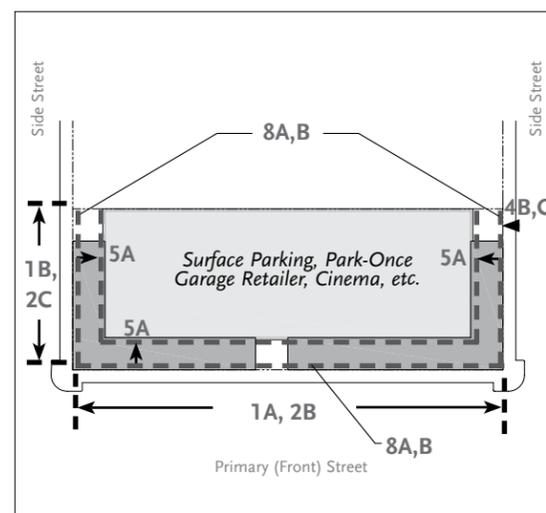
Automobile access to parking garage from the rear alley



Automobile access to parking garage from side streets with no alley



Automobile access to parking garage from the rear alley



Automobile access to parking garage from side streets with no alley



A lobby and elevator provide access from the street to the multi-story parking garage and upper floors of the retail liner



Housing and retail uses line and disguise a multi-story garage



Office and retail uses line and disguise a multi-story garage



The "black box" functions of Fresno's Warners Theater is lined with retail uses

TABLE 5D FLEX SHED (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Flex Shed standards shall comply with all applicable requirements of Table 5D for the identified zoning district.
- B. Description and Intent:** A building designed for occupancy primarily by light manufacturing, workshop, and warehouse uses. Flex Shed buildings may also accommodate residential uses provided that ground floor residential uses do not exceed 20% of the total ground floor area. One hundred percent of upper floor areas may be occupied by residential uses. This building type also accommodates the large loading and/or staging area requirements that light manufacturing and warehouse uses

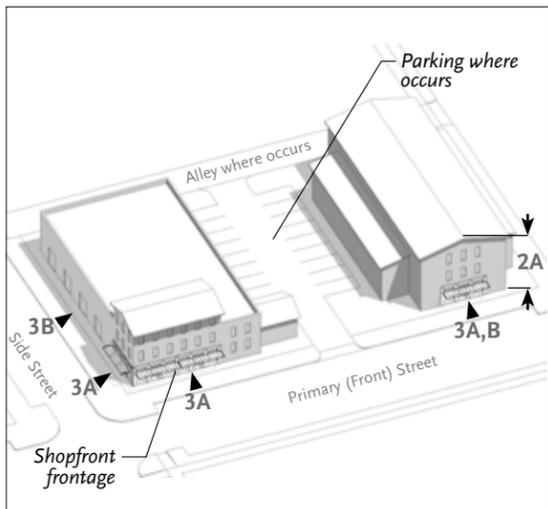
might need as well as support areas and parking to be located either to the side or the rear of the building in order to ensure that buildings front the sidewalk and street.

- C. Lot and Building Requirements:** Each Flex Shed building shall comply with the requirements of Table 5D.
- D. Lot and Building Configuration:** Each Flex Shed building may be designed and configured on its site in any manner consistent with the requirements of Table 5D. Examples of configurations are shown in Diagram 5D.

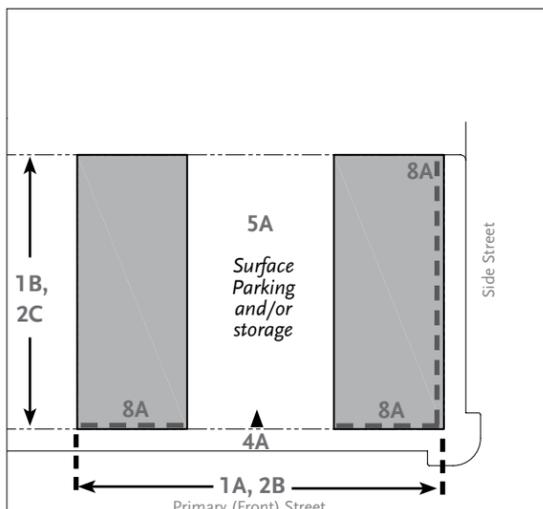
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	NOT APPLICABLE			200 max	NOT APPLICABLE	200 max	NOT APPLICABLE					no max		200 max		
B. Depth (ft)	NOT APPLICABLE			65-150		50 min	no max									
2. Building Size and Massing																
A. Height (stories)	NOT APPLICABLE			2 max	NOT APPLICABLE	2 max	NOT APPLICABLE					2 max				
B. Length along front (ft)	NOT APPLICABLE			150 max		150 max	no max		150 max							
C. Length along side yard (ft)	NOT APPLICABLE			150 max	100 max	no max		100 max								
3. Pedestrian Access																
A. Ground Floor	NOT APPLICABLE			direct access from sidewalk	NOT APPLICABLE	direct access from sidewalk	NOT APPLICABLE					direct access from sidewalk or anywhere on site		same as CT zone		
B. Upper Floors	NOT APPLICABLE			direct access from street level or exterior stair		direct access from street level or exterior stair	same as CT zone									
4. Parking and Service Access																
A. Lot with alley	NOT APPLICABLE			from alley	NOT APPLICABLE	from alley	NOT APPLICABLE					from alley				
B. Lot without alley	NOT APPLICABLE			via driveway, max 20 ft wide, located as close to side yard property line as possible		same as CT zone	via driveway, max 50 ft wide		via driveway, max 20 ft wide, located as close to side yard property line as possible							
C. Corner lot without alley	NOT APPLICABLE			from side street via driveway located as close to side yard property line as possible		same as CT zone	via driveway, max 50 ft wide		via driveway, max 20 ft wide, located as close to side yard property line as possible							
5. Parking Location																
A. At Grade	NOT APPLICABLE			rear, tuck under per Section 4.0 Development Standards	NOT APPLICABLE	same as CT zone	NOT APPLICABLE					front, side, rear, tuck under per Section 4.0 Development Standards		side, rear		
B. Upper Flrs	NOT APPLICABLE			allowed		allowed	allowed		not allowed							
C. Roof	NOT APPLICABLE			allowed, per Section 10.0		allowed, per Section 10.0	allowed, per Section 10.0		not allowed							
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	NOT APPLICABLE			adjacent to alley	NOT APPLICABLE	adjacent to alley	NOT APPLICABLE					adjacent to alley				
B. Lot without alley	NOT APPLICABLE			as close to side yard and/or rear yard property line as possible		as close to side yard and/or rear yard property line as possible	as close to side yard and/or rear yard property line as possible									
7. Open Space																
A. Balcony	NOT APPLICABLE			not required	NOT APPLICABLE	not required	NOT APPLICABLE					not required				
B. Shared	NOT APPLICABLE			not required		not required										
9. Frontage																
A. Ground Floor	NOT APPLICABLE			along a public street or open space: per allowed frontage types: per Section 6.0	NOT APPLICABLE		NOT APPLICABLE					same as CT zone	same as CT zone			
B. Upper Floors	NOT APPLICABLE			along a public street or open space: per Section 10.0 General Standards			same as CT zone		same as CT zone							

FLEX SHED TABLE 5D

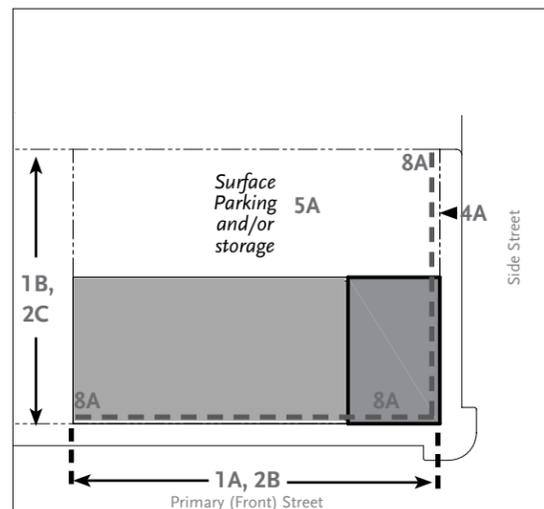
DIAGRAM 5D



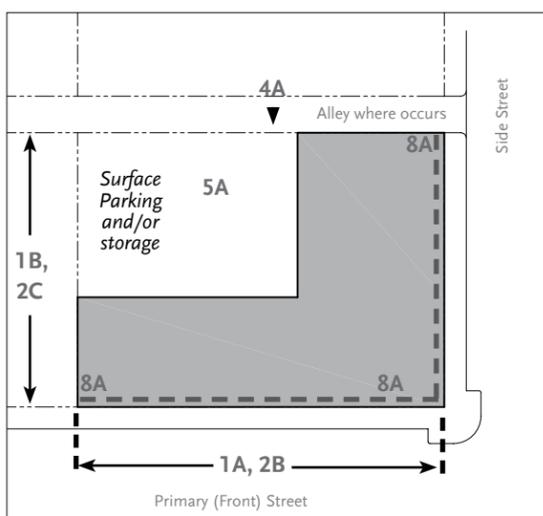
Illustrative Massing Diagram



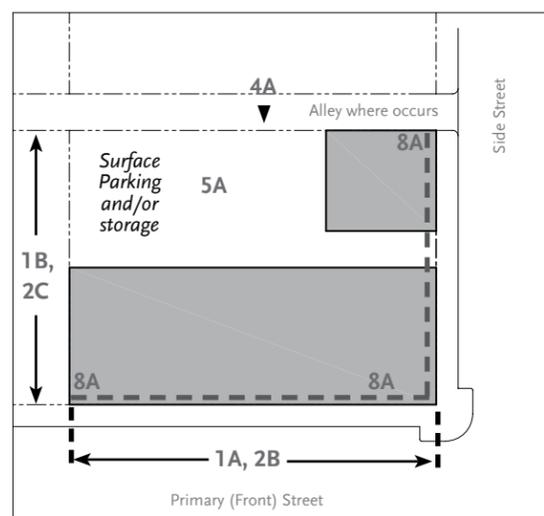
Buildings front the street with parking in between, accessed from the primary street



The building sits at the corner with parking accessed from the side street



A large building fronts the street with parking at rear



Buildings front the street with parking at rear



Habitable commercial space is placed at the front while warehouse operations are placed at the rear



On-site storage and parking is accessed via driveway and placed behind the building



Shopfront frontages are provided when the building is brought to the sidewalk



Opaque fenestrations and landscape face the side street, creating a desirable streetscape

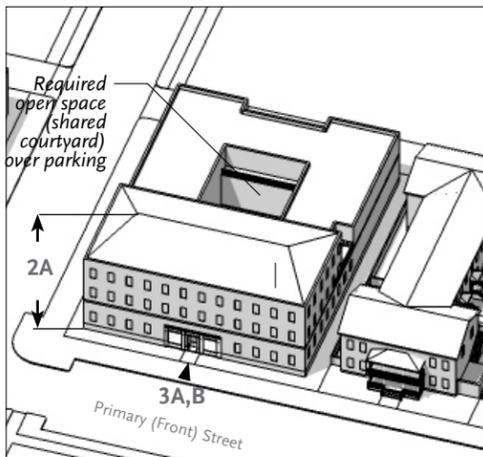
TABLE 5E HYBRID COURT (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Hybrid Court standards shall comply with all applicable requirements of Table 5E for the identified zoning district.
- B. Description and Intent:** A building type characterized by on-site parking within a common, engaged garage. Liner spaces at least 30 feet in depth – occupied by residential or commercial uses – are required to surround the garage on all frontages, with direct access to those liner uses from the public way. Access to upper floors is provided by a lobby/stair/elevator/corridor system, walk-up to a court atop the garage, or a combination of these two.
- C. Lot and Building Requirements:** Each Court building shall comply with the requirements of Table 5E.
- D. Lot and Building Configuration:** Each Hybrid Court building may be designed and configured on its site in any manner consistent with the requirements of Table 5E. Examples of configurations are shown in Diagram 5E.

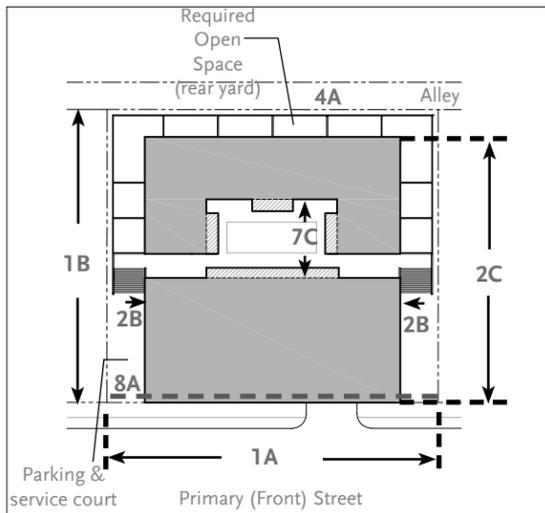
Standard	Zoning District																	
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H		
1. Lot Size																		
A. Width (ft)		150-200	150-200	125-200	125-200	125-200	125-150	125-200	125-150		100-150	NOT APPLICABLE				150-200		
B. Depth (ft)		150-200	150-200	125-200	125-200	125-200	125-150	125-150	125-150		100-150	NOT APPLICABLE				150-200		
2. Building Size and Massing																		
A. Height (stories)		2-5	5 max	3 max	5 max	5 max	3 max	3 max	2.5 max		2.5 max	NOT APPLICABLE				5 max		
B. Length along front (ft)		200 max	200 max	200 max	200 max	200 max	130 max	130 max	105-130		90-190	NOT APPLICABLE				200 max		
C. Length along side yard (ft)												NOT APPLICABLE						
3. Pedestrian Access																		
A. Ground Floor		direct access from Street or Courtyard										same as NG zone	NOT APPLICABLE				same as NG zone	
B. Upper Floors		direct access from Street or Courtyard										same as NG zone	NOT APPLICABLE				same as NG zone	
4. Parking and Service Access																		
A. Lot with alley		from alley										from alley	NOT APPLICABLE				from alley	
B. Lot without alley		via driveway, max 16 ft wide, located as close to side yard property line as possible	via driveway, max 12 ft wide, located as close to side yard property line as possible										same as NG zone	NOT APPLICABLE				same as NG zone
C. Corner lot without alley		from side street via driveway max 16 ft wide	from side street via driveway max 12 ft wide										same as NG zone	NOT APPLICABLE				same as NG zone
5. Parking Location																		
A. At Grade		Rear, Tuck Under, Parking Garage										Rear, Tuck Under, Parking Garage	NOT APPLICABLE				Rear, Tuck Under, Parking Garage	
B. Upper Flrs		not allowed										not allowed	NOT APPLICABLE				not allowed	
C. Roof		not allowed										not allowed	NOT APPLICABLE				not allowed	
6. Service Location (dry utilities, above ground equipment, trash containers)																		
A. Lot with alley		adjacent to alley										same as NG zone	NOT APPLICABLE				same as NG zone	
B. Lot without alley		as close to side yard and/or rear yard property line as possible										same as NG zone	NOT APPLICABLE				same as NG zone	
7. Open Space and Landscape																		
A. Balcony		min 6 ft deep if provided										same as NG zone	NOT APPLICABLE				same as NG zone	
B. Shared (% of lot area)		min 20%	min 20%	min 15%	min 15%	min 15%	min 15%	min 15%	min 15%		min 15%	NOT APPLICABLE				min 20%		
C. Court Size		min 35 ft	min 35 ft	min 30 ft	min 30 ft	min 25 ft	min 25 ft	min 25 ft	min 25 ft		min 20 ft	NOT APPLICABLE				min 35 ft		
8. Frontage																		
A. Ground Floor		along a public street or open space: per allowed frontage types: per Section 6.0										same as NG zone	NOT APPLICABLE				same as NG zone	
B. Upper Floors		along a public street or open space: per Section 10.0 General Standards										same as NG zone	NOT APPLICABLE				same as NG zone	

HYBRID COURT TABLE 5E

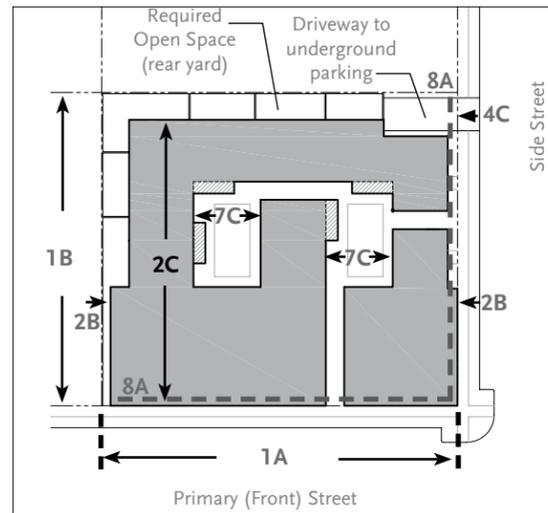
DIAGRAM 5E



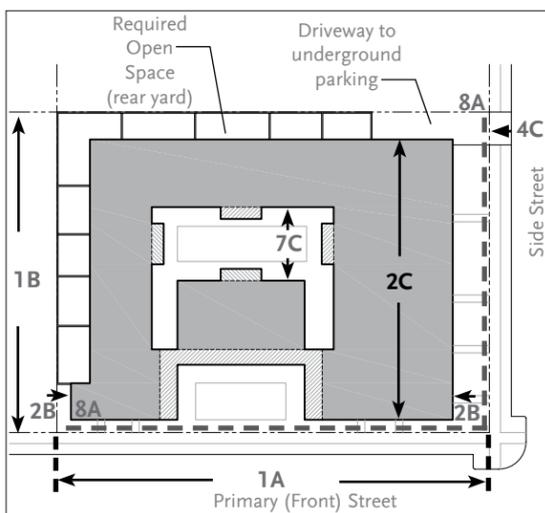
Illustrative Massing Diagram



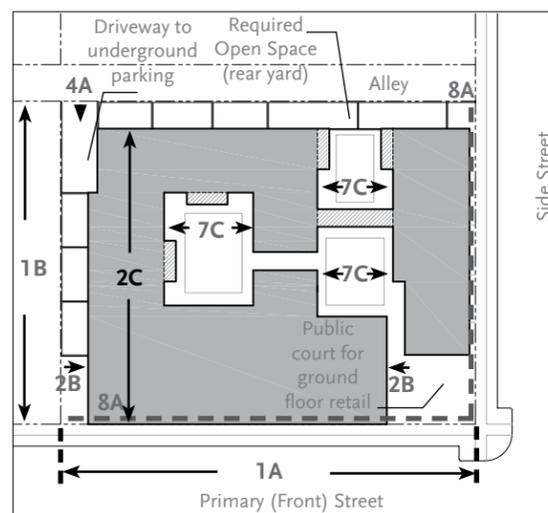
Mid block condition with underground parking accessed from primary street



Corner lot condition with underground parking accessed from side street



Corner lot condition with underground parking accessed from side street



Corner lot condition with underground parking accessed from side street



A hybrid court building with varied massing and ground floor units that are entered directly from the adjacent sidewalk.



Double loaded dwelling units front the primary street while courtyard housing and underground parking sits at the side and rear of the lot



The internal courtyard of the hybrid court building shown at above left. Access to the street is through the arched passageway.

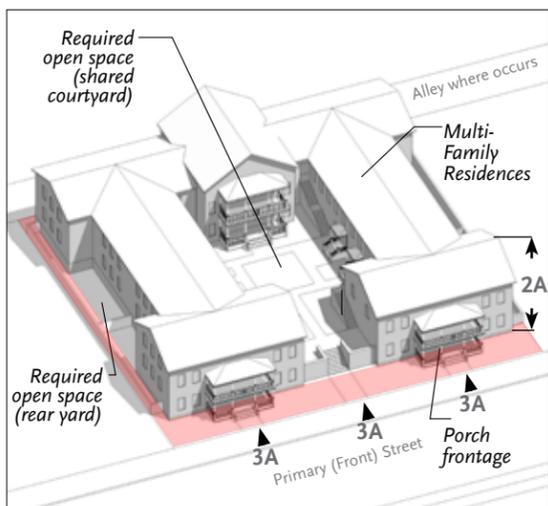
TABLE 5F COURT (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Court standards shall comply with all applicable requirements of Table 5F for the identified zoning district.
- B. Description and Intent:** A group of dwelling units arranged to share one or more common courtyards. The courtyard is intended to be a semi-public outdoor room that is an extension of the public realm. Court buildings may accommodate ground floor commercial/flex uses in either a live-work configuration or as solely commercial/retail space in qualifying zones facing the primary street.
- C. Lot and Building Requirements:** Each Court building shall comply with the requirements of Table 5F.
- D. Lot and Building Configuration:** Each Court building may be designed and configured on its site in any manner consistent with the requirements of Table 5F. Examples of configurations are shown in Diagram 5F.

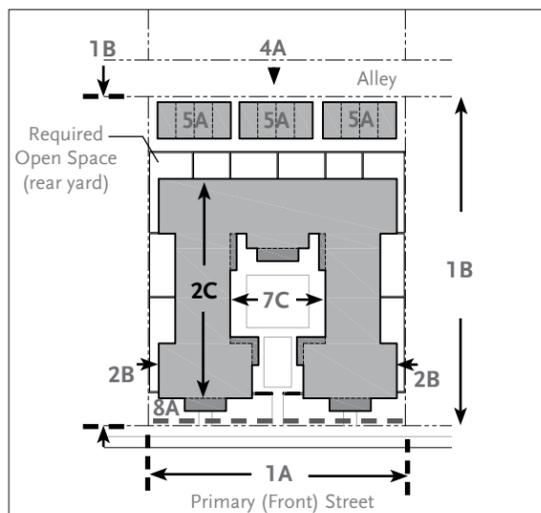
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)		125-200				125-150	125-200	125-150			100-150	125-200	NOT APPLICABLE			125-150
B. Depth (ft)		125-150									100-150		NOT APPLICABLE			125-150
2. Building Size and Massing																
A. Height (stories)		2-5	5 max	3 max	5 max	5 max	3 max	3 max	2.5 max		2.5 max	2.5 max	NOT APPLICABLE			5 max
B. Length along front (ft)		200 max	190 max	200 max	200 max	200 max	150 max	180 max	130 max		130 max	180 max	NOT APPLICABLE			150 max
C. Length along side yard (ft)		140 max	140 max	140 max	140 max	140 max	120 max	120 max	120 max		120 max	140 max	NOT APPLICABLE			120 max
3. Pedestrian Access																
A. Ground Floor		direct access from Street or Courtyard									same as NG zone	same as NG zone	NOT APPLICABLE			same as NG zone
B. Upper Floors		SA from Street or Courtyard											NOT APPLICABLE			same as NG zone
4. Parking and Service Access																
A. Lot with alley		from alley									from alley	from alley	NOT APPLICABLE			from alley
B. Lot without alley		via driveway, max 16 ft wide, located as close to side yard property line as possible	via driveway, max 12 ft wide, located as close to side yard property line as possible								same as NG zone	from alley	NOT APPLICABLE			same as NG zone
C. Corner lot without alley		from side street via driveway max 16 ft wide	from side street via driveway max 12 ft wide								same as NG zone	from alley	NOT APPLICABLE			same as NG zone
5. Parking Location																
A. At Grade		rear, tuck under									rear, tuck under	rear	NOT APPLICABLE			rear, tuck under
B. Upper Flrs		not allowed									not allowed		NOT APPLICABLE			not allowed
C. Roof		not allowed									not allowed		NOT APPLICABLE			not allowed
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley		adjacent to alley									same as NG zone	same as NG zone	NOT APPLICABLE			same as NG zone
B. Lot without alley		as close to side yard and/or rear yard property line as possible									same as NG zone	same as NG zone	NOT APPLICABLE			same as NG zone
7. Open Space and Landscape																
A. Balcony		min 6 ft deep if provided									same as NG zone	same as NG zone	NOT APPLICABLE			same as NG zone
B. Shared		min 20%	min 20%	min 15%	min 15%	min 15%	min 15%	min 15%	min 15%		min 15%	min 20%	NOT APPLICABLE			min 20%
C. Court Size		min 35 ft	min 35 ft	min 30 ft	min 30 ft	min 25 ft	min 25 ft	min 25 ft	min 25 ft		min 20 ft	min 30 ft	NOT APPLICABLE			min 35 ft
8. Frontage																
A. Ground Floor		along a public street or open space: per allowed frontage types: per Section 6.0									same as NG zone	same as NG zone	NOT APPLICABLE			same as NG zone
B. Upper Floors		along a public street or open space: per Section 10.0 General Standards									same as NG zone	same as NG zone	NOT APPLICABLE			same as NG zone

COURT TABLE 5E

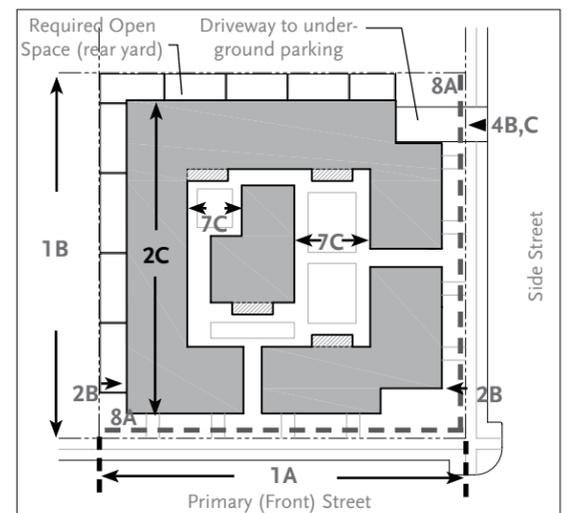
DIAGRAM 5F



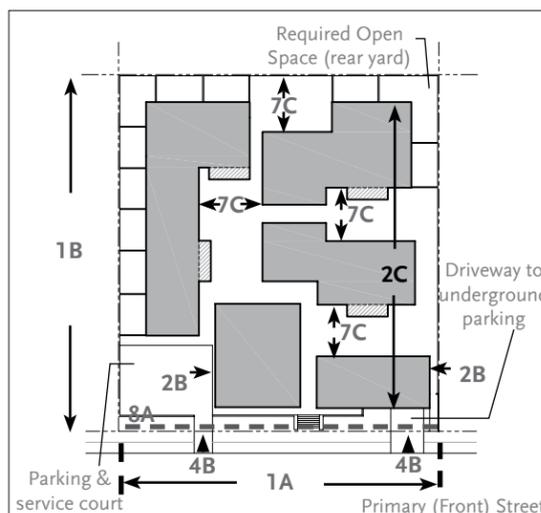
Illustrative Massing Diagram



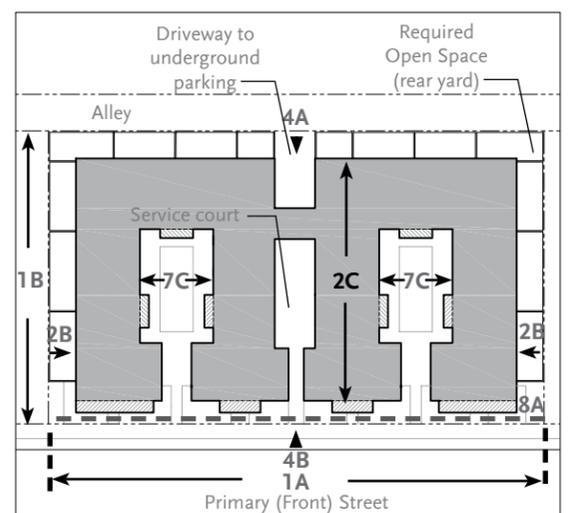
Mid block condition with garage parking accessed from alley



Corner lot condition with underground parking accessed from side street



Mid block condition with underground parking and a service court accessed from primary street



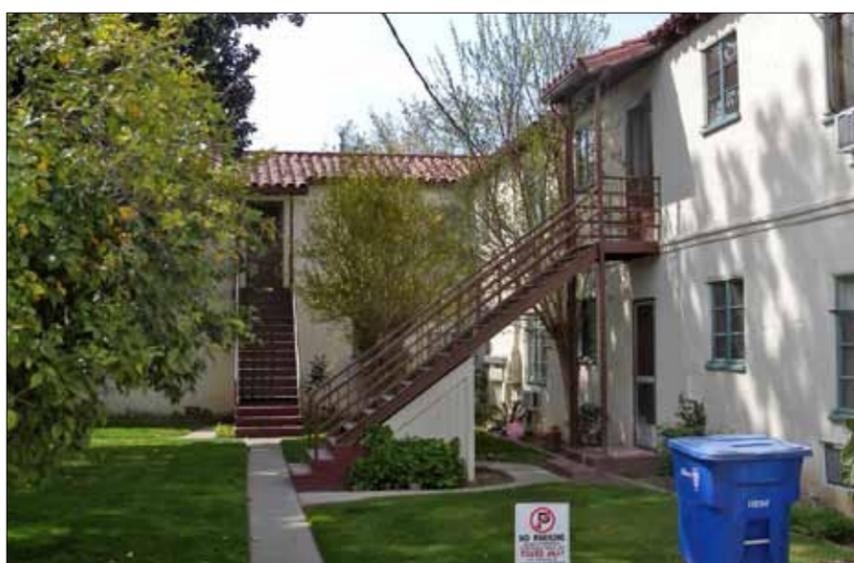
Mid block condition with underground parking accessed from alley



Lush landscape and a fountain are common characteristics of a shared courtyard



Courtyards create outdoor gathering spaces for residents



Direct walk-up access is provided from the shared courtyard



This courtyard building fronts both streets and provides a court internally while parking is accessed from the side street at the rear

TABLE 5G LIVE/WORK (BLOCK-SCALE BUILDING)

A. Requirements. Buildings designed per the Live/Work standards shall comply with all applicable requirements of Table 5G for the identified zoning district.

B. Description and Intent: An integrated residence and working space, occupied and utilized by a single household. At a minimum, an array of at least 5 units is required, with the interior designed or structurally modified to accommodate joint residential occupancy and work activity. The primary building sits at the front of the property, with the garage at the rear, separated from the primary building by a rear yard. The work space is accessed directly from the primary street, and the living space at the rear or above is accessed directly

or indirectly from the working space. Live/Works are prohibited on a lot without alley access, since garages must be located and accessed from the rear of the lot.

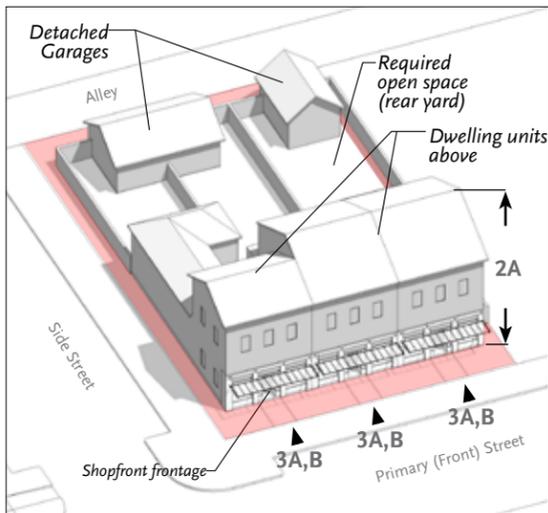
C. Lot and Building Requirements. Each Live/Work building shall comply with the requirements of Table 5G.

D. Lot and Building Configuration. Each Live/Work building may be designed and configured on its site in any manner consistent with the requirements of Table 5G. Examples of configurations are shown in Diagram 5G.

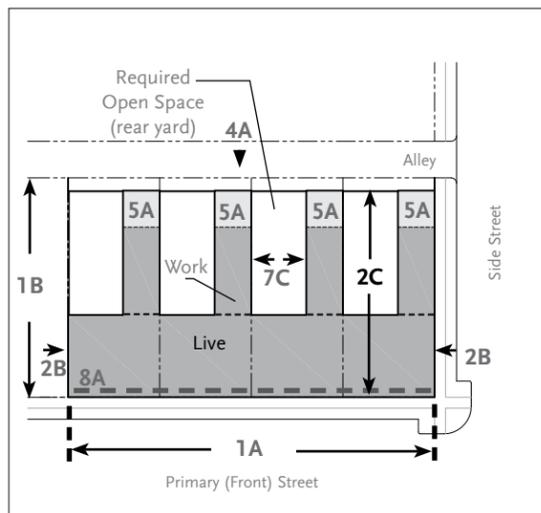
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	50 - 200	50 - 200		50 - 200	50 - 200	50 - 200	50 - 150	50 - 150	50 - 125	NOT APPLICABLE			50 - 200		50 - 150	50 - 125
B. Depth (ft)	95 - 150	95 - 150		95 - 150	95 - 150	95 - 150	95 - 150	95 - 150	95 - 150	NOT APPLICABLE			95 min		95 min	95-150
2. Building Size and Massing																
A. Height (stories)	2-3	3 max		3 max	3 max	3 max	3 max	3 max	2.5 max	NOT APPLICABLE			3 max		2.5 max	3 max
B. Length along front (ft)	200 max	200 max		200 max	200 max	200 max	150 max	150 max	115 max	NOT APPLICABLE			200 max		150 max	125 max
C. Length along side yard (ft)	100 max	100 max		100 max	100 max	100 max	80 max	80 max	80 max	NOT APPLICABLE			100 max		100 max	80 max
3. Pedestrian Access																
A. Work Space	direct access from sidewalk			direct access from sidewalk						NOT APPLICABLE			same as NG zone		direct access from sidewalk	
B. Living Space	direct access from sidewalk or anywhere on site			direct access from sidewalk or anywhere on site						NOT APPLICABLE			same as NG zone		direct access from sidewalk or anywhere on site	
4. Parking and Service Access																
A. Lot with alley	from alley			from alley						NOT APPLICABLE			same as NG zone		from alley	
B. Lot without alley	not allowed			not allowed						NOT APPLICABLE			not allowed		not allowed	
C. Corner lot without alley	not allowed			not allowed						NOT APPLICABLE			not allowed		not allowed	
5. Parking Location																
A. At Grade	rear			rear				side, rear	rear	NOT APPLICABLE			side, rear, tuck under		front, side, rear, tuck under	rear
B. Upper Flrs	not allowed			not allowed						NOT APPLICABLE			not allowed		not allowed	
C. Roof	per Section 10.0			per Section 10.0						not allowed	NOT APPLICABLE			per Section 10.0		per Section 10.0
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	adjacent to alley			adjacent to alley						NOT APPLICABLE			same as NG zone		adjacent to alley	
B. Lot without alley	not allowed			not allowed						NOT APPLICABLE			not allowed		not allowed	
7. Open Space and Landscape																
A. Rear Yard (% of lot area)	min 15%			min 15%				min 15%		NOT APPLICABLE			same as NG zone		min 15%	
B. Location	rear			side, rear						NOT APPLICABLE			front, side, rear		rear	
C. Size	min 10 ft			min 15 ft	min 10 ft			min 10 ft	NOT APPLICABLE			same as NG zone		min 15 ft		
8. Frontage																
A. Ground Floor	same as NG zone			along a public street or open space: per allowed frontage types: per Section 6.0						NOT APPLICABLE			same as NG zone		same as NG zone	
B. Upper Floors	same as NG zone			along a public street or open space: per Section 10.0 General Standards						NOT APPLICABLE			same as NG zone		same as NG zone	

LIVE/WORK TABLE 5G

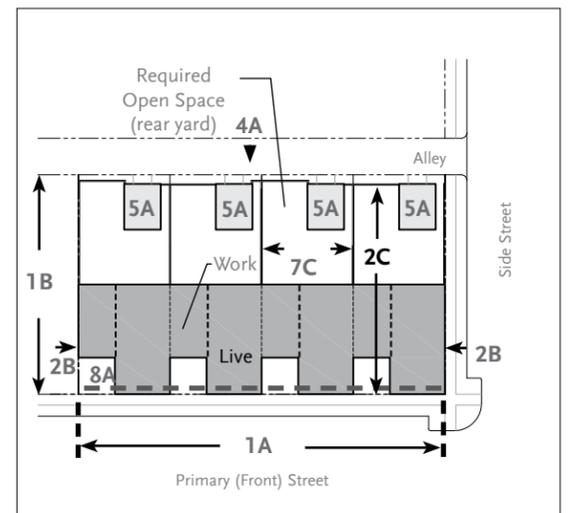
DIAGRAM 5G



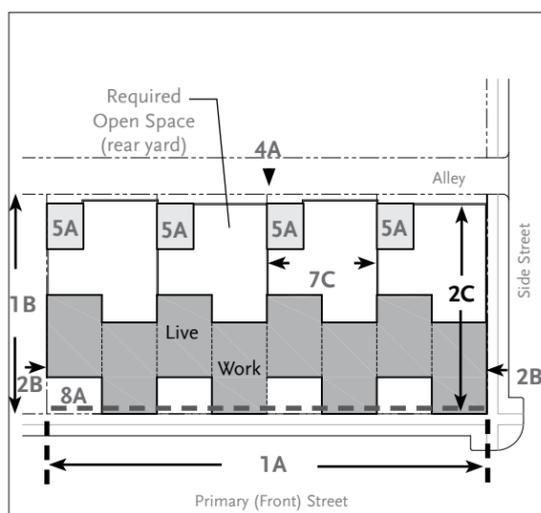
Illustrative Massing Diagram



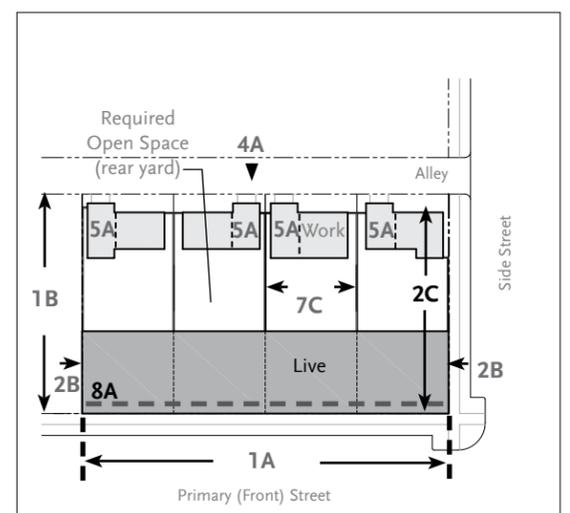
Ground floor work space with housing above



Forecourts separate the live and work entries



Living space is setback from the work space



Work spaces in carriage houses



The living spaces of this traditional live/work building are accessed by a separate entrance



The upper floor living spaces of this live/work building are accessed through the ground floor work spaces



The living space of this live/work unit is located above the ground floor work space

TABLE 5H ROWHOUSE (BLOCK-SCALE BUILDING)

A. Requirements. Buildings designed per the Rowhouse standards shall comply with all applicable requirements of Table 5H for the identified zoning district.

B. Description and Intent: A building comprised of five or more attached two- or three-story dwelling units arrayed side by side, with the ground floor raised above grade in order to provide privacy for ground floor rooms. The primary building sits at the front of the property, with the garage at the rear, separated from the primary building by a rear yard. The front elevation and massing of each Rowhouse building may be either symmetrical or asymmetrical, repetitive or unique in disposition, as long as the delineation of each individual unit is evident. Each dwelling unit is directly accessed

from the front yard/street. Rowhouses are prohibited on a lot without alley access, since garages must be located and accessed from the rear of the lot.

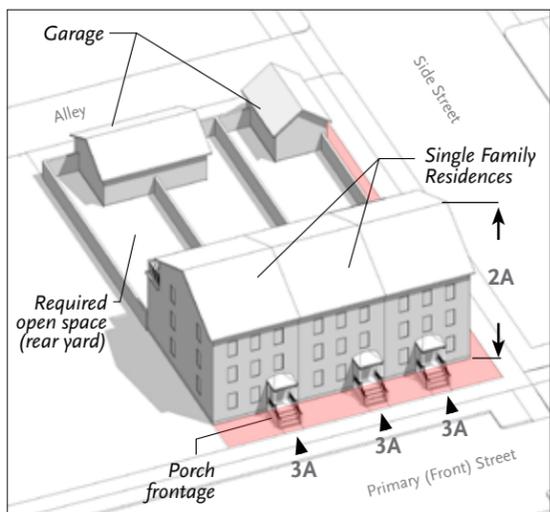
C. Lot and Building Requirements: Each Rowhouse building shall comply with the requirements of Table 5H.

D. Lot and Building Configuration: Each Rowhouse building may be designed and configured on its site in any manner consistent with the requirements of Table 5H. Examples of configurations are shown in Diagram 5H.

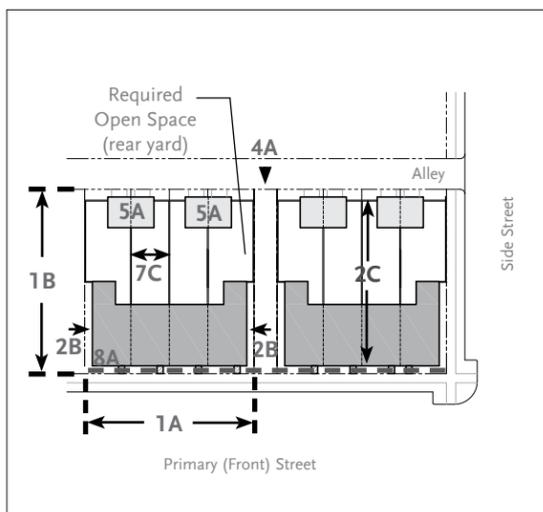
Standard	Zoning District																
	CBD 1	CBD 2	CC	CT	CA/SS/SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H	
1. Lot Size																	
A. Width (ft)		70-200		70-150	NOT APPLICABLE			70-150	70-125				NOT APPLICABLE			70-125	
B. Depth (ft)		95-150		95-150				95-150	95-150								95-150
2. Building Size and Massing																	
A. Height (stories)		2-3		3 max	NOT APPLICABLE			3 max	2.5 max				NOT APPLICABLE			3 max	
B. Length along front (ft)		200 max		150 max				125 max	125 max								125 max
C. Length along side yard (ft)		80 max		80 max				80 max	80 max								80 max
3. Pedestrian Access																	
A. Ground Floor		same as NG zone		same as NG zone	NOT APPLICABLE			direct access from sidewalk					NOT APPLICABLE			same as NG zone	
B. Upper Floors		same as NG zone		same as NG zone				direct access from sidewalk									same as NG zone
4. Parking and Service Access																	
A. Lot with alley		from alley		from alley	NOT APPLICABLE			from alley					NOT APPLICABLE			from alley	
B. Lot without alley		not allowed		not allowed				not allowed									not allowed
C. Corner lot without alley		not allowed		not allowed				not allowed									not allowed
5. Parking Location																	
A. At Grade		rear		rear	NOT APPLICABLE			rear					NOT APPLICABLE			rear	
B. Upper Flrs		not allowed		not allowed				not allowed									not allowed
C. Roof		not allowed		not allowed				not allowed									not allowed
6. Service Location (dry utilities, above ground equipment, trash containers)																	
A. Lot with alley		adjacent to alley		adjacent to alley	NOT APPLICABLE			adjacent to alley					NOT APPLICABLE			adjacent to alley	
B. Lot without alley		not allowed		not allowed				not allowed									not allowed
7. Open Space and Landscape																	
A. Yard		min 15%		min 15%	NOT APPLICABLE			min 15%					NOT APPLICABLE			min 15%	
B. Location		rear		rear				rear									rear
C. Size		min 10 ft		min 10 ft				min 10 ft									min 10 ft
8. Frontage																	
A. Ground Floor		same as NG zone		same as NG zone	NOT APPLICABLE			along a public street or open space: per allowed frontage types: per Section 6.0					NOT APPLICABLE			same as NG zone	
B. Upper Floors		same as NG zone		same as NG zone				along a public street or open space: per Section 10.0 General Standards									same as NG zone

ROWHOUSE TABLE 5H

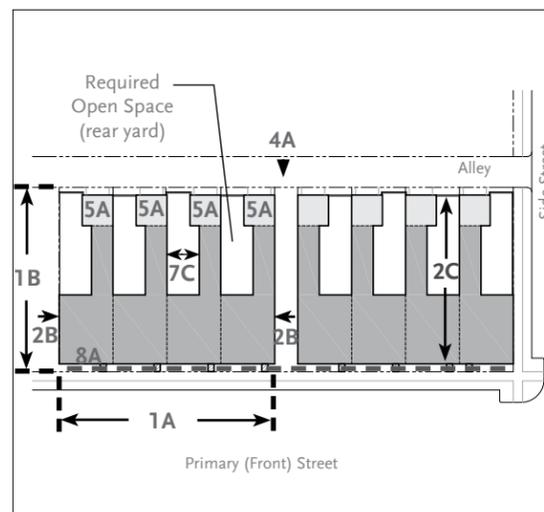
DIAGRAM 5H



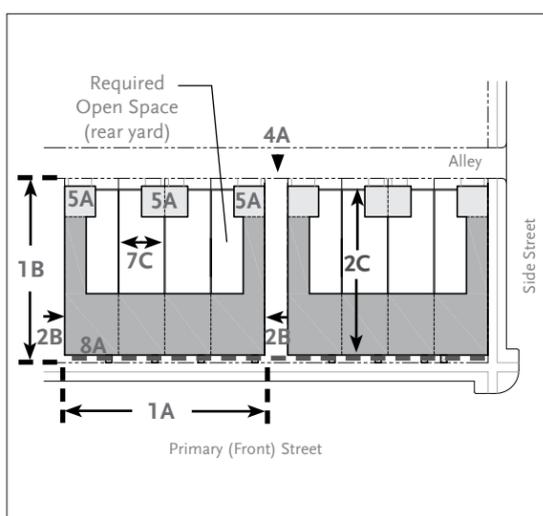
Illustrative Massing Diagram



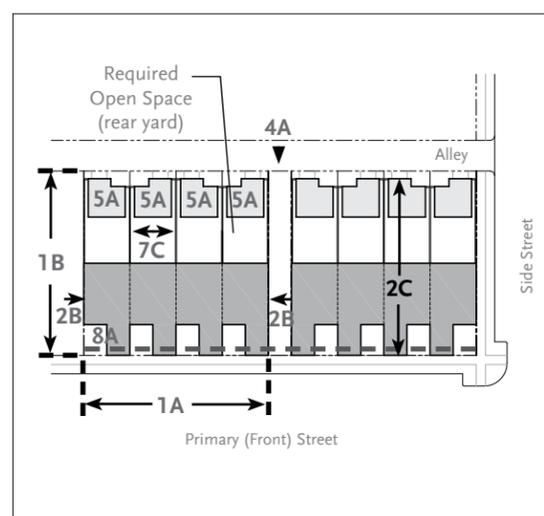
Detached garages and stoops with pedestrian passage



Attached garages and stoops with pedestrian passage



Corner units front the side street



Carriage houses above detached garages



Two story contemporary rowhouses with second story balconies



Rowhouses are contained within one building massing and are delineated by the composition of entrance doors and fenestrations at the ground floor



The traditional rowhouse as it's known, with shallow setbacks, raised stoops, and two story massing that is attached and repeated



The ground floor is raised to provide privacy from pedestrian traffic on the street

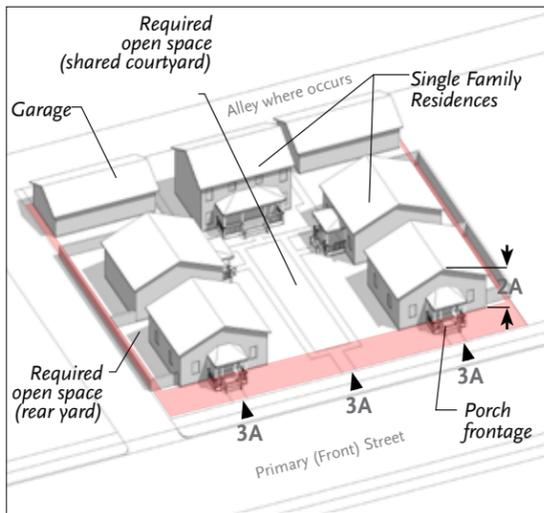
TABLE 51 BUNGALOW COURT (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Bungalow Court standards shall comply with all applicable requirements of Table 51 for the identified zoning district.
- B. Description and Intent:** Four or more Single Dwellings arranged around a shared courtyard, with pedestrian access to the building entrances from the courtyard and/or fronting street. The courtyard is wholly open to the street and parking is placed in the rear of the lot or behind each unit. Bungalow courts are prohibited on corner lots that do not have alley access.
- C. Lot and Building Requirements:** Each Bungalow Court building shall comply with the requirements of Table 51.
- D. Lot and Building Configuration:** Each Bungalow Court building may be designed and configured on its site in any manner consistent with the requirements of Table 51. Examples of configurations are shown in Diagram 51.

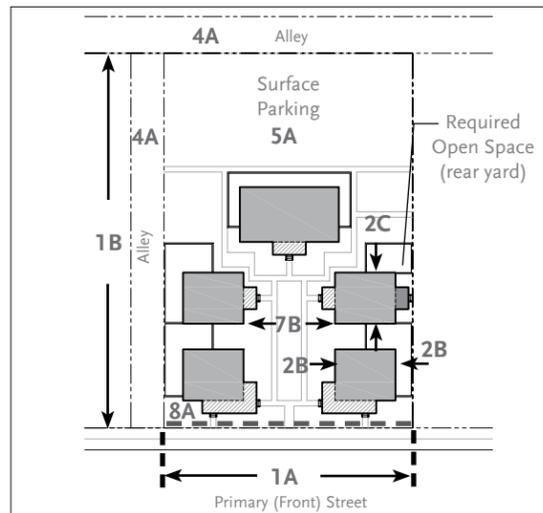
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	NOT APPLICABLE								120-180	120-180	120-180	NOT APPLICABLE				120-180
B. Depth (ft)	NOT APPLICABLE								120-150	120-150	120-150	NOT APPLICABLE				120-150
2. Building Size and Massing																
A. Height (stories)	NOT APPLICABLE								2 max	2 max	2.5 max	NOT APPLICABLE				2.5 max
B. Length along frontage (ft)	NOT APPLICABLE								40 max	40 max	40 max	NOT APPLICABLE				40 max
C. Length along side yard (ft)	NOT APPLICABLE								40 max	40 max	40 max	NOT APPLICABLE				40 max
3. Pedestrian Access																
A. Ground Floor	NOT APPLICABLE								direct access from Street or Courtyard			NOT APPLICABLE				same as NG zone
B. Upper Floors	NOT APPLICABLE								direct access from Street or Courtyard			NOT APPLICABLE				same as NG zone
4. Parking and Service Access																
A. Lot with alley	NOT APPLICABLE								from alley			NOT APPLICABLE				from alley
B. Lot without alley	NOT APPLICABLE								via driveway, max 12 ft wide, located as close to side yard property line as possible			NOT APPLICABLE				same as NG zone
C. Corner lot without alley	NOT APPLICABLE								from side street via driveway max 12 ft wide			NOT APPLICABLE				same as NG zone
5. Parking Location																
A. At Grade	NOT APPLICABLE								rear, tuck under			NOT APPLICABLE				same as NG zone
B. Upper Flrs	NOT APPLICABLE								not allowed			NOT APPLICABLE				not allowed
C. Roof	NOT APPLICABLE								not allowed			NOT APPLICABLE				not allowed
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	NOT APPLICABLE								adjacent to alley			NOT APPLICABLE				same as NG zone
B. Lot without alley	NOT APPLICABLE								as close to side yard and/or rear yard property line as possible			NOT APPLICABLE				same as NG zone
7. Open Space and Landscape																
A. Balcony	NOT APPLICABLE								min 6 ft deep if provided			NOT APPLICABLE				same as NG zone
B. Shared	NOT APPLICABLE								min 20%	min 20%	min 15%	NOT APPLICABLE				min 25%
	NOT APPLICABLE								min 25 ft	min 25 ft	min 20 ft	NOT APPLICABLE				min 30 ft
8. Frontage																
A. Ground Floor	NOT APPLICABLE								along a public street or open space: per allowed frontage types: per Section 6.0			NOT APPLICABLE				same as NG zone
B. Upper Floors	NOT APPLICABLE								along a public street or open space: per Section 10.0 General Standards			NOT APPLICABLE				same as NG zone

BUNGALOW COURT TABLE 5I

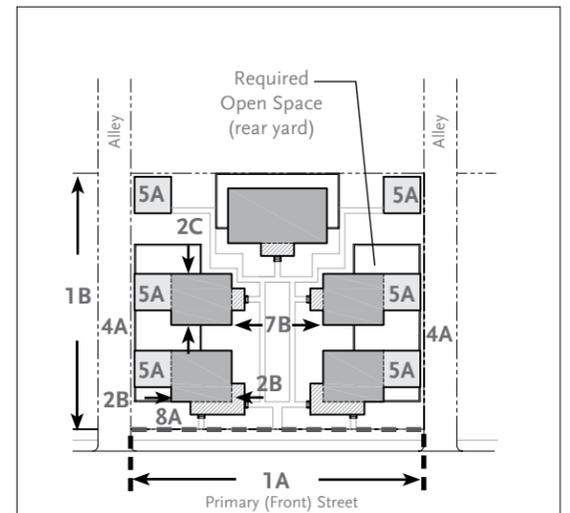
DIAGRAM 5I



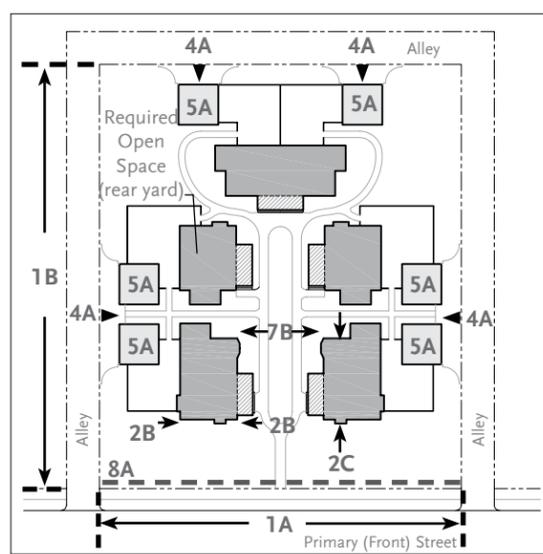
Illustrative Massing Diagram



Mid block condition with Surface parking at the rear accessed by alleys



Mid block condition with attached garages accessed by side alleys



Mid block condition with internal alleys accessing detached garages



A low wall and entrance gate create the separation between the public realm and semi-private court shared by the residences



Dwelling units face and are accessed directly from the shared court



Ample landscape and shade trees provide much appreciated shade in the hot Fresno climate



The shared court is open to the street and windows face the street

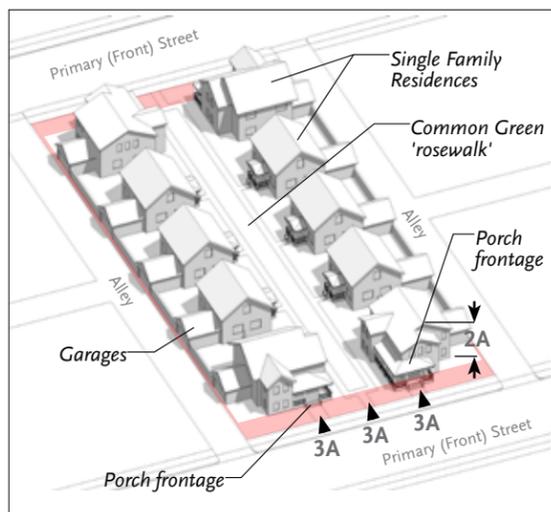
TABLE 5J ROSEWALK (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Rosewalk standards shall comply with all applicable requirements of Table 5J for the identified zoning district.
- B. Description and Intent:** Six or more Single Dwellings arranged linearly along either side of a common green. Having the same right-of-way width as a narrow neighborhood street, the Rosewalk (in contrast to the Bungalow Court) must connect two parallel streets. Pedestrian access to the building entrances are accessed from the common green and/or primary street. Rosewalks are prohibited on corner lots.
- C. Lot and Building Requirements:** Each Rosewalk building shall comply with the requirements of Table 5J.
- D. Lot and Building Configuration:** Each Rosewalk building may be designed and configured on its site in any manner consistent with the requirements of Table 5J. Examples of configurations are shown in Diagram 5J.

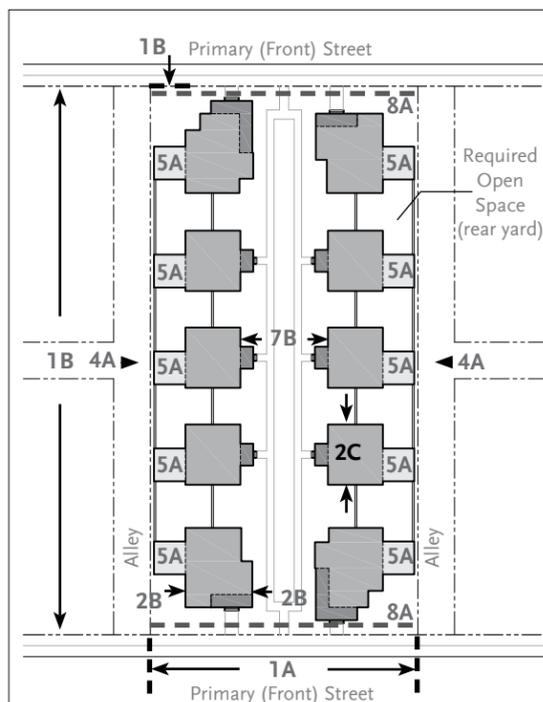
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	NOT APPLICABLE								125-150	125-150	125-150	NOT APPLICABLE				125-150
B. Depth (ft)	NOT APPLICABLE								125-150	125-150	125-150	NOT APPLICABLE				125-150
2. Building Size and Massing																
A. Height (stories)	NOT APPLICABLE								2 max	2 max	2.5 max	NOT APPLICABLE				2.5 max
B. Length along frontage (ft)	NOT APPLICABLE								40 max	40 max	40 max	NOT APPLICABLE				40 max
C. Length along side yard (ft)	NOT APPLICABLE								40 max	40 max	40 max	NOT APPLICABLE				40 max
3. Pedestrian Access																
A. Ground Floor	NOT APPLICABLE								direct access from Street or Courtyard			NOT APPLICABLE				same as NG zone
B. Upper Floors	NOT APPLICABLE								direct access from Street or Courtyard			NOT APPLICABLE				same as NG zone
4. Parking and Service Access																
A. Lot with alley	NOT APPLICABLE								from alley			NOT APPLICABLE				from alley
B. Lot without alley	NOT APPLICABLE								via driveway, max 12 ft wide, located as close to side yard property line as possible			NOT APPLICABLE				same as NG zone
C. Corner lot without alley	NOT APPLICABLE								from side street via driveway max 12 ft wide			NOT APPLICABLE				same as NG zone
5. Parking Location																
A. At Grade	NOT APPLICABLE								rear, tuck under			NOT APPLICABLE				same as NG zone
B. Upper Flrs	NOT APPLICABLE								not allowed			NOT APPLICABLE				not allowed
C. Roof	NOT APPLICABLE								not allowed			NOT APPLICABLE				not allowed
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	NOT APPLICABLE								adjacent to alley			NOT APPLICABLE				same as NG zone
B. Lot without alley	NOT APPLICABLE								as close to side yard and/or rear yard property line as possible			NOT APPLICABLE				same as NG zone
7. Open Space and Landscape																
A. Balcony	NOT APPLICABLE								min 6 ft deep if provided			NOT APPLICABLE				same as NG zone
B. Shared	NOT APPLICABLE								min 20%	min 20%	min 15%	NOT APPLICABLE				min 25%
	NOT APPLICABLE								min 25 ft	min 25 ft	min 20 ft	NOT APPLICABLE				min 30 ft
8. Frontage																
A. Ground Floor	NOT APPLICABLE								along a public street or open space: per allowed frontage types: per Section 6.0			NOT APPLICABLE				same as NG zone
B. Upper Floors	NOT APPLICABLE								along a public street or open space: per Section 10.0 General Standards			NOT APPLICABLE				same as NG zone

ROSEWALK TABLE 5J

DIAGRAM 5J



Illustrative Massing Diagram



Mid block condition with side alleys accessing attached garages



Placing sidewalks along the edge provides a central green



This rosewalk provides mid-block pedestrian access to the beach and is fronted by two story single dwellings



Entrances and porches are seen facing the rosewalk



A wide rosewalk provides ample open space between streets

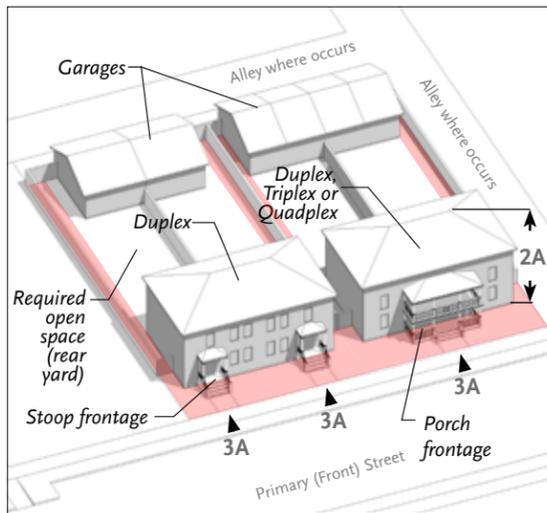
TABLE 5K DUPLEX, TRIPLEX, QUADPLEX 'DUPLEX' (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Duplex standards shall comply with all applicable requirements of Table 5K for the identified zoning district.
- B. Description and Intent:** Duplexes, triplexes, and quadplexes are buildings surrounded on all four sides by setbacks (front yard, side yard, rear yard) and share similar setbacks, massing, scale, and frontage types as surrounding buildings. Duplexes, triplexes, and quadplexes may contain dwelling units and/or commercial uses as allowed by Table 3 (Land Use Standards).
- C. Lot and Building Requirements:** Each Duplex building shall comply with the requirements of Table 5K.
- D. Lot and Building Configuration:** Each Duplex building may be designed and configured on its site in any manner consistent with the requirements of Table 5K. Examples of configurations are shown in Diagram 5K.

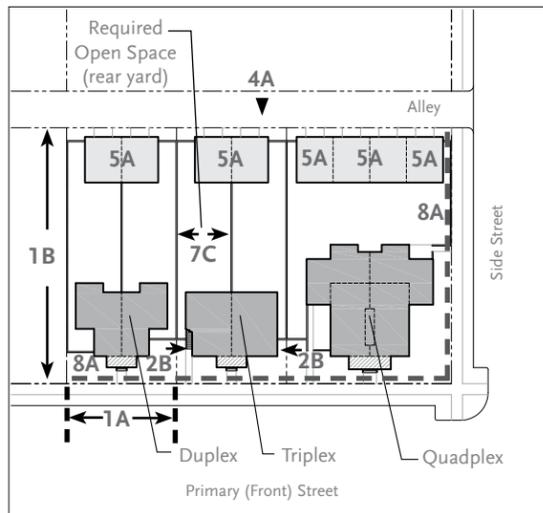
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	NOT APPLICABLE						50-100	50-100	50-100	50-100	NOT APPLICABLE					50-120
B. Depth (ft)	NOT APPLICABLE						95 min	95 min	125 min	95 min	NOT APPLICABLE					95 min
2. Building Size and Massing																
A. Height (stories)	NOT APPLICABLE						3	2 max	2 max	2.5 max	NOT APPLICABLE					2.5 max
B. Length along frontage (ft)	NOT APPLICABLE						40-80	40-80	40-80	40-80	NOT APPLICABLE					40-80
C. Length along side-yard (ft)	NOT APPLICABLE						80 max	80 max	80 max	80 max	NOT APPLICABLE					80 max
3. Pedestrian Access																
A. Ground Floor	NOT APPLICABLE						direct access from Street or Side Yard				NOT APPLICABLE					same as NG zone
B. Upper Floors	NOT APPLICABLE						direct access from Street or Side Yard				NOT APPLICABLE					same as NG zone
4. Parking and Service Access																
A. Lot with alley	NOT APPLICABLE						from alley				NOT APPLICABLE					from alley
B. Lot without alley	NOT APPLICABLE						via driveway, max 12 ft wide, located as close to side yard property line as possible				NOT APPLICABLE					same as NG zone
C. Corner lot without alley	NOT APPLICABLE						from side street via driveway max 12 ft wide				NOT APPLICABLE					same as NG zone
5. Parking Location																
A. At Grade	NOT APPLICABLE						Rear, tuck under				NOT APPLICABLE					same as NG zone
B. Upper Flrs	NOT APPLICABLE						not allowed				NOT APPLICABLE					not allowed
C. Roof	NOT APPLICABLE						not allowed				NOT APPLICABLE					not allowed
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	NOT APPLICABLE						adjacent to alley				NOT APPLICABLE					same as NG zone
B. Lot without alley	NOT APPLICABLE						as close to side yard and/or rear yard property line as possible				NOT APPLICABLE					same as NG zone
7. Open Space and Landscape																
A. Balcony	NOT APPLICABLE						min 6 ft deep if provided				NOT APPLICABLE					same as NG zone
B. Shared	NOT APPLICABLE						min 10%	min 10%	min 15%	min 10%	NOT APPLICABLE					min 15%
C. Size	NOT APPLICABLE						min 10 ft	min 10 ft	min 20 ft	min 15 ft	NOT APPLICABLE					min 25 ft
8. Frontage																
A. Ground Floor	NOT APPLICABLE						along a public street or open space: per allowed frontage types: per Section 6.0				NOT APPLICABLE					same as NG zone
B. Upper Floors	NOT APPLICABLE						along a public street or open space: per Section 10.0 General Standards				NOT APPLICABLE					same as NG zone

DUPLEX, TRIPLEX, QUADPLEX (DUPLEX) TABLE 5K

DIAGRAM 5K



Illustrative Massing Diagram



Corner and mid-block condition with parking access from the alley



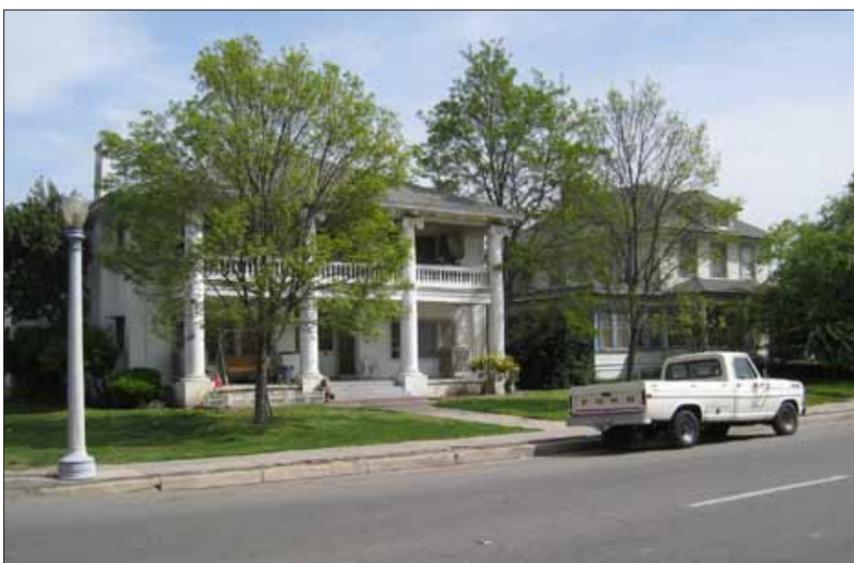
Private porches and balconies are provided for each unit that face the street



The quadplex fronts both streets on a corner lot with entries and fenestrations



This duplex shows stacked dwelling units with parking placed at the rear



Quadplexes as house-type forms line the residential street

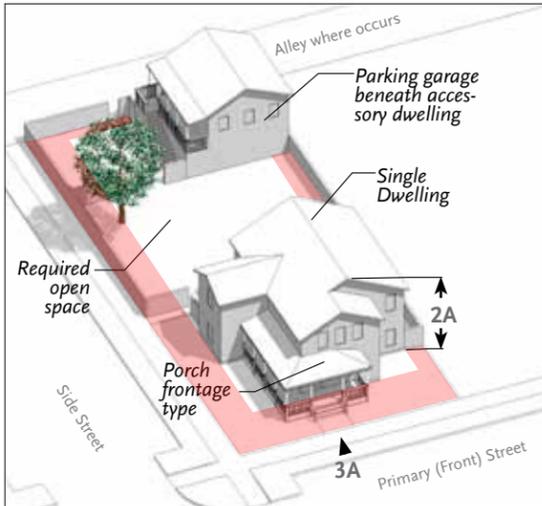
TABLE 5L SINGLE DWELLING (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Single Dwelling standards shall comply with all applicable requirements of Table 5L for the identified zoning district.
- B. Description and Intent:** A building that is surrounded on all four sides by setbacks (front yard, side yards, rear yard) and shares similar setbacks, massing, scale, and frontage types as surrounding houses. Single Dwellings may contain dwelling units or commercial uses as allowed by Table 3.
- C. Lot and Building Requirements:** Each Single Dwelling building shall comply with the requirements of Table 5L.
- D. Lot and Building Configuration:** Each Single Dwelling building may be designed and configured on its site in any manner consistent with the requirements of Table 5L. Examples of configurations are shown in Diagram 5L.

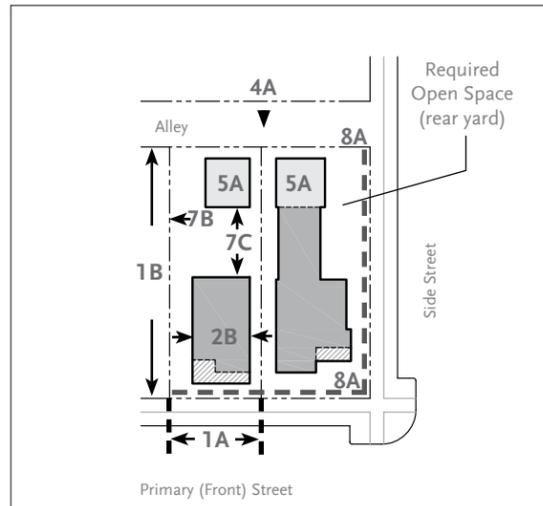
Standard	Zoning District																
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H	
1. Lot Size																	
A. Width (ft)	NOT APPLICABLE								35-75	35-100	35-75	50 min	NOT APPLICABLE				35-75
B. Depth (ft)	NOT APPLICABLE								95 min	125 min	95 min	125 min	NOT APPLICABLE				95 min
2. Building Size and Massing																	
A. Height (stories)	NOT APPLICABLE								2 max	2 max	2.5 max	2.5 max	NOT APPLICABLE				2.5 max
B. Length along frontage (ft)	NOT APPLICABLE								25-60	25-80	25-60	30-100	NOT APPLICABLE				25-60
C. Length along side-yard (ft)	NOT APPLICABLE								80 max	80 max	80 max	80 max	NOT APPLICABLE				80 max
3. Pedestrian Access																	
A. Ground Floor	NOT APPLICABLE								direct access from Street				NOT APPLICABLE				same as NG zone
B. Upper Floors	NOT APPLICABLE								direct access from Street				NOT APPLICABLE				same as NG zone
4. Parking and Service Access																	
A. Lot with alley	NOT APPLICABLE								from alley				NOT APPLICABLE				from alley
B. Lot without alley	NOT APPLICABLE								via driveway, max 12 ft wide, located as close to side yard property line as possible				NOT APPLICABLE				same as NG zone
C. Corner lot without alley	NOT APPLICABLE								from Side Street via driveway max 12 ft wide				NOT APPLICABLE				same as NG zone
5. Parking Location																	
A. At Grade	NOT APPLICABLE								rear, tuck under		rear		NOT APPLICABLE				same as NG zone
B. Upper Flrs	NOT APPLICABLE								not allowed				NOT APPLICABLE				not allowed
C. Roof	NOT APPLICABLE								not allowed				NOT APPLICABLE				not allowed
6. Service Location (dry utilities, above ground equipment, trash containers)																	
A. Lot with alley	NOT APPLICABLE								adjacent to alley				NOT APPLICABLE				same as NG zone
B. Lot without alley	NOT APPLICABLE								as close to side yard and/or rear yard property line as possible				NOT APPLICABLE				same as NG zone
7. Open Space and Landscape																	
A. Balcony	NOT APPLICABLE								min 6 ft deep if provided				NOT APPLICABLE				same as NG zone
B. Rear Yard (% of lot)	NOT APPLICABLE								min 20%	min 20%	min 20%	min 30%	NOT APPLICABLE				same as NG zone
C. Rear Yard (min. dimension)	NOT APPLICABLE								min 15 ft	min 20 ft	min 15 ft	min 25 ft	NOT APPLICABLE				min 18 ft
8. Frontage																	
A. Ground Floor	NOT APPLICABLE								along a public street or open space: per allowed frontage types: per Section 6.0				NOT APPLICABLE				same as NG zone
B. Upper Floors	NOT APPLICABLE								along a public street or open space: per Section 10.0 General Standards				NOT APPLICABLE				same as NG zone

SINGLE DWELLING TABLE 5L

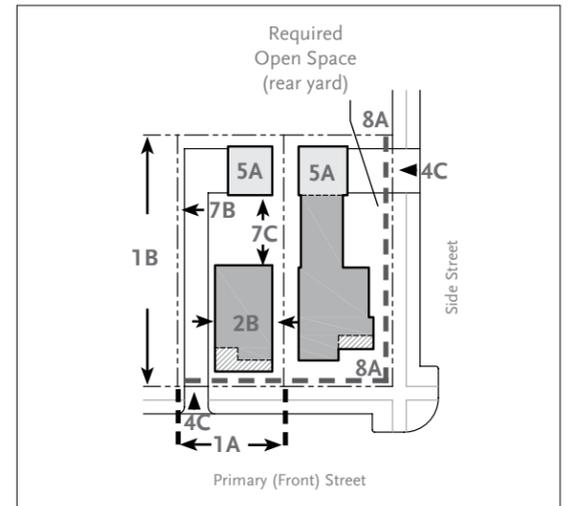
DIAGRAM 5L



Illustrative Axonometric Diagram



Driveways accessing parking garages from primary and side streets



Alley access to parking garages



A stoop and entrance directly from the street



Parking is placed in the rear of the lot and accessed from the side through a porte cochere



A large wide raised porch provides comfortable outdoor space



A commercial use occupies an existing single dwelling

TABLE 5M CARRIAGE HOUSE (HOUSE-SCALE BUILDING)

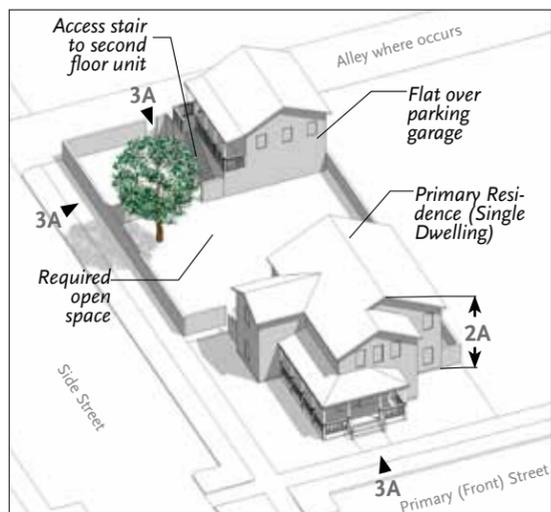
- A. Requirements.** Buildings designed per the Carriage House standards shall comply with all applicable requirements of Table 5M for the identified zoning district.
- B. Description and Intent:** An attached or detached residence, also known as a ‘granny flat,’ which provides complete independent living facilities for one or more persons and which is located or established on the same lot on which a Single Dwelling is located. Carriage Houses may be used for office uses, as a bonus room, or may contain permanent provisions for living, sleeping, eating, cooking, and sanitation. Carriage houses may be located above a garage (2-stories) or adjacent to a garage (1-story).
- C. Lot and Building Requirements:** Each Carriage House building shall comply with the requirements of Table 5M.
- D. Lot and Building Configuration:** Each Carriage House building may be designed and configured on its site in any manner consistent with the requirements of Table 5M. Examples of configurations are shown in Diagram 5M.

Standard	Zoning District																	
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H		
1. Lot Size (of primary building)																		
A. Width (ft)	NOT APPLICABLE								35-75	35-100	35-75	50 min	NOT APPLICABLE				same as NG zone	
B. Depth (ft)									95 min	125 min	95 min	125 min						
2. Building Size and Massing																		
A. Height (stories)	NOT APPLICABLE								2 max ⁽¹⁾	2 max ⁽¹⁾	2.5 max ⁽¹⁾	2.5 max ⁽¹⁾	NOT APPLICABLE				2.5 max ⁽¹⁾	
B. Length along frontage (ft)									20-40	20-50	20-40	50 max						
3. Pedestrian Access																		
A. Ground Floor	NOT APPLICABLE								direct access from Street, Rear Yard, or alley				NOT APPLICABLE				same as NG zone	
B. Upper Floors									direct access from Street, Rear Yard, or alley									
4. Parking and Service Access																		
A. Lot with alley	NOT APPLICABLE								from alley				NOT APPLICABLE				same as NG zone	
B. Lot without alley									via driveway, max 12 ft wide, located as close to side yard property line as possible									
C. Corner lot without alley									from Side Street via driveway max 12 ft wide									
5. Parking Location																		
A. At Grade	NOT APPLICABLE								rear, tuck under		rear		NOT APPLICABLE				same as NG zone	
B. Upper Flrs									not allowed									
C. Roof																		
6. Service Location (dry utilities, above ground equipment, trash containers)																		
A. Lot with alley	NOT APPLICABLE								adjacent to alley				NOT APPLICABLE				same as NG zone	
B. Lot without alley									as close to side yard and/or rear yard property line as possible									
7. Open Space and Landscape																		
A. Balcony	NOT APPLICABLE								min 6 ft deep, if provided				NOT APPLICABLE				same as NG zone	
B. Yard (area)									150 sf min.									
C. Yard (min. dimension)									10 ft								same as NG zone	
8. Frontage																		
A. Ground Floor	NOT APPLICABLE								along a public street or open space: per allowed frontage types: per Section 6.0; 1-story units must provide window facing alley				NOT APPLICABLE				same as NG zone	
B. Upper Floors									along a public street or open space: per Section 10.0 General Standards; must provide windows facing alley									

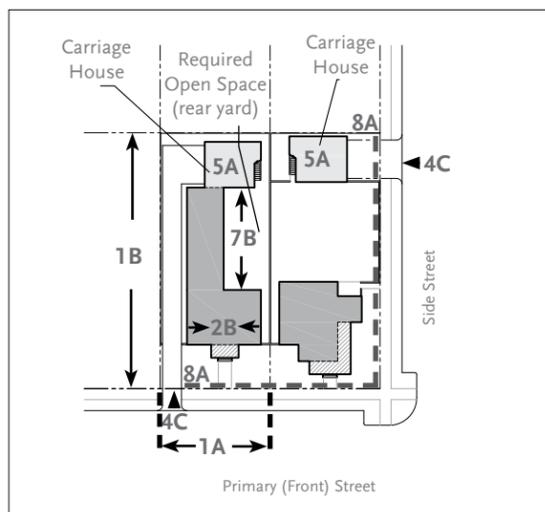
(1) 2-story carriage houses are permitted on lots where the primary building is 1-story

CARRIAGE HOUSE TABLE 5M

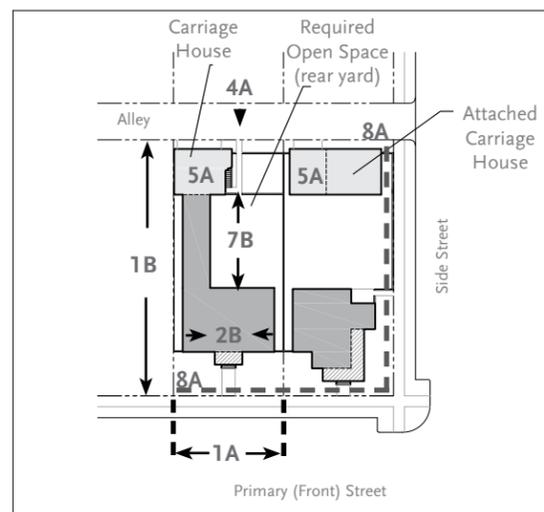
DIAGRAM 5M



Illustrative Massing Diagram



Mid-block and corner carriage houses with no alley



Mid-block and corner carriage houses with alley



These carriage houses provide a variety of massing and landscaping making the alley pedestrian friendly



A carriage house that is accessed from the side



The carriage house is accessed from the rear and parking is provided on the side of the garage



Several carriage houses provide eyes on the alley