

6.0 FRONTAGE STANDARDS

6.1. FRONTAGE STANDARDS

6.1A. Purpose. This Section provides design standards for individual lot and building frontages to ensure that proposed development is consistent with the City's goals for building form, physical character, land use activity and quality.

6.1B. Applicability. The frontage of each lot and building shall be designed in compliance with the applicable general requirements in Section 6.2 and all applicable requirements of the California Building and Fire Codes.

Proposed buildings within the Downtown Code boundaries shall comply with the applicable requirements of the zoning district and overlay identified for the property in Figure 2.

6.1C. Allowed Frontage Types by Zoning District. Each proposed lot and building or existing lot and building to be modified shall be designed as one of the frontage types allowed for the zoning district applicable to the site as identified in Table 6.

6.1D. Design Objectives. Frontages shall be designed and maintained to:

1. Support the intended physical environment;
2. Support active and continuous pedestrian-oriented environments;
3. Provide a physical transition between the public right-of-way and the lot that shapes the public realm per the intended physical environment of the zoning district;
4. Express creativity in frontage design per the allowed frontage types in Table 6.

ALLOWED FRONTAGE TYPES **TABLE 6**

Type	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
A. Arcade	See Table 6A	See Table 6A	See Table 6A	See Table 6A	See Table 6A	See Table 6A	See Table 6A	X	X	X	X	X	X	X	X	See Table 6A
B. Gallery	See Table 6B	See Table 6B	See Table 6B	See Table 6B	See Table 6B	See Table 6B	See Table 6B	X	X	X	X	X	See Table 6B	See Table 6B	See Table 6B	See Table 6B
C. Shopfront	See Table 6C	See Table 6C	See Table 6C	See Table 6C	See Table 6C	See Table 6C	See Table 6C	See Table 6C	X	X	X	X	See Table 6C	See Table 6C	See Table 6C	See Table 6C
D. Forecourt	See Table 6D	See Table 6D	See Table 6D	See Table 6D	See Table 6D	See Table 6D	See Table 6D	See Table 6D	X	X	X	X	See Table 6D	See Table 6D	See Table 6D	See Table 6D
E. Loading Dock	X	See Table 6E	X	See Table 6E	See Table 6E	X	X	X	X	X	X	X	See Table 6E	See Table 6E	See Table 6E	See Table 6E
F. Stoop	X	See Table 6F	X	See Table 6F	See Table 6F	X	X	See Table 6F	See Table 6F	See Table 6F	See Table 6F	X	X	X	X	X
G. Porch	X	X	X	X	X	X	X	See Table 6G	X	X	X					
H. Front Yard	X	X	X	X	X	X	X	See Table 6H								

KEY TO TABLE 6
X Frontage Type not allowed in Zoning District
See Table 6D Frontage Type allowed in Zoning District. See reference for requirements.



A. Arcade



B. Gallery



C. Shopfront



D. Forecourt



E. Loading Dock



F. Stoop



G. Porch



H. Front yard

6.0 FRONTAGE STANDARDS

6.2 GENERAL REQUIREMENTS FOR FRONTAGES

The following requirements apply to all lots and buildings subject to the Downtown Code. Standards listed under each frontage type supplement or supersede those identified in this section.

A. Non-Residential Frontage Standards.

All lots and buildings shall be designed per the applicable frontage standards of Section 6.0 to ensure that new buildings and their adjacent frontages are built to the scale and character of surrounding buildings as follows:

1. All lot lines bordering a street (public or private) or public open space are subject to frontage standards as identified in the applicable zoning district.
2. Building facades shall be designed in compliance with the requirements for front and side street facades in Section A.3 of the applicable zoning district development standards.
3. Access to buildings shall be in compliance with all applicable ADA requirements. The design and placement of accessible ramps shall be consistent and compatible with the design of the rest of the building and the applicable frontage type(s) on the building.
3. Frontage types may be combined as identified in Section A.3 of the applicable zoning district development standards.
4. Awnings, signs and other such attachments to buildings shall be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk to a maximum encroachment of within 2 feet of the curb.
5. Awnings shall only cover storefronts and openings so as to not cover the entire facade. Awnings may cover multiple openings as allowed in Table 6A.
6. All storefronts shall provide clear views of merchandise displays within the shop space and/or maintained and lighted merchandise display(s) within a display zone of at least four feet in depth from the glass.
7. A physical transition shall be provided between the glazing of the storefront and the adjacent sidewalk except if the glazing itself terminates directly at the grade. Where a bulkhead is applied to transition between the opening(s) and the adjacent grade, the bulkhead shall be between 10 inches and 36 inches tall (aluminum storefront or spandrel panel may not substitute for a bulkhead).
8. The term "clear" means that the identified area is free of encroachments other than signs, light fixtures, sidewalk dining and allowed furnishings, and outdoor display of merchandise.
9. Corner buildings shall be designed having two front facades with one of the two facades, or the corner, containing the primary building entry.
10. Planter boxes, containers or vine pockets may be located adjacent to shopfronts. Such landscape areas shall be clear of required ADA access along any public sidewalk and shall be connected to automatic irrigation.

B. Residential Frontage Standards.

All buildings shall be designed per the applicable frontage standards of Section 6.0 to ensure that new buildings and their adjacent frontages are built to the scale and character of surrounding buildings as follows:

1. All lot lines bordering a street (public or private) or public open space are subject to frontage standards as identified in the applicable zoning district.
2. Building facades shall be designed in compliance with the requirements for front and side street facades in Section A.3 of the applicable zoning district development standards.
3. Frontage types may be combined as identified in Section A.3 of the applicable zoning district development standards.
4. Entrance doors, and public rooms such as living rooms and dining rooms shall be oriented toward the street and on-site open space.
5. Service rooms shall be oriented away from the street and on-site open space.
6. Corner buildings shall be designed having two front facades with one of the two facades containing the primary building entry.
7. Porches and Stoops shall not be enclosed except that porches may utilize screens between the structural members of the porch.

C. Industrial Frontage Standards.

All lots and buildings shall be designed per the applicable frontage standards of Section 6.0 to ensure that new buildings and their adjacent frontages are built to the scale and character of surrounding buildings as follows:

1. All lot lines bordering a street (public or private) or public open space are subject to frontage standards as identified in the applicable zoning district.
2. As identified in Section A.3 of the applicable zoning district development standards, industrial buildings are allowed to use frontage types that may be set back from the sidewalk as specified.
3. Frontage types may be combined as identified in Section A.3 of the applicable zoning district development standards.

D. 'A' and 'B' Grid Standards.

As specified in Section 9.0, certain streets are identified as 'B'-grid streets. Such streets may have less frontage requirements as identified in the applicable zoning district.

6.0 FRONTAGE STANDARDS

E. Multiple Frontage Types.

A building may utilize multiple frontage types as follows:

1. Each utilized frontage type must be an allowed frontage type in the applicable zoning district.
2. Each frontage type shall be in compliance with the requirements for minimum and maximum facade length along primary and side street frontage lines in the applicable zoning district.
3. As allowed in the applicable zoning district, within mixed-use areas, residential frontage types such as stoops, porches and front yards may be used on side streets.
4. As allowed in the applicable zoning district, within residential areas, certain commercial frontage types such as gallery and forecourt may be used on either the primary or side street frontage.

6.3 REQUIRED FINDINGS

Each application involving Section 6.0 shall require consistency with the following findings in order to be approved:

1. The application is in conformance with Table 6 and the applicable frontage type requirements;
2. The application is in conformance with the intent of the zoning district in which the frontage is located;
3. The application is in conformance with Sections A 'Building Placement', B 'Adjacency and Height' and, C 'Encroachment' of the applicable zoning district standards;
4. The proposed frontage design does not disrupt or detract from the general intended pattern for frontages on the subject block face.

TABLE 6A ARCADE

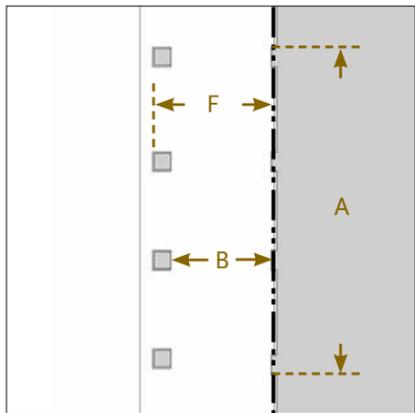


A. Description and Intent: Arcade frontages are composed of a building with ground floor facades which align with the property line, and upper floors which project over the property line to cover the sidewalk. A colonnade structurally and visually supports the building mass which encroaches into the public right-of-way. Arcades contain ground-floor storefronts, making them ideal for retail use as the arcade shelters the pedestrian and shades the storefront glass, preventing glare that might obscure views of merchandise. As allowed, the arcade also provides habitable space over the sidewalk creating a very urban street character.

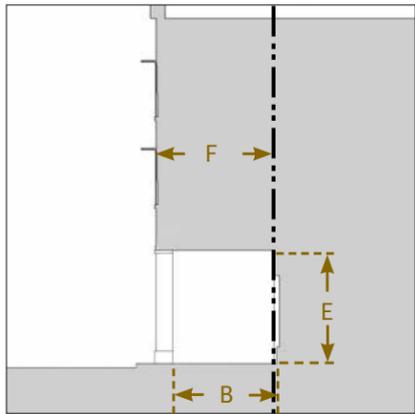
Landscaping is not required. Vines may be located at the arcade columns and shall be planted on grade in vine pockets located between the columns and street curb. Planter boxes or pots may be placed in between columns to provide enclosure for such uses as cafe seating provided that adequate pedestrian access is maintained.

As allowed by Table 7 for the applicable zoning district, signage is located within the storefront and / or hanging from the arcade ceiling. Canopies and awnings are not allowed.

B. Design Standards.



Plan Diagram 6A.1



Section Diagram 6A.2

1. Arcades shall comply with the size requirements of Table 6A to be large enough in dimension to allow passage along the sidewalk without impediments both horizontally and vertically.
2. Arcades shall be combined with the Shopfront frontage type (Table 6C).
3. Arcades may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit.
4. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
5. Columns shall be placed in relation to curbs so as to allow passage around and to allow for passengers of cars to disembark.
6. Arcades shall comply with Section 6.2A, General Requirements, as applicable.

TABLE 6B GALLERY

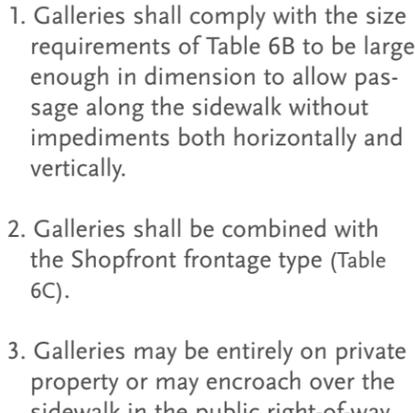


A. Description and Intent: A Gallery is a roof or deck projecting from the facade of a building, supported by columns located just behind the curb of the street. Galleries shelter the sidewalk with a roof or unenclosed, accessible, outdoor space making them ideal for retail use. Galleries may be one-, two-, or up to three stories in height as allowed by the zoning district, functioning as covered or uncovered porches at the second and third floors. Railing on top of the gallery is only required if the gallery roof is accessible as a deck.

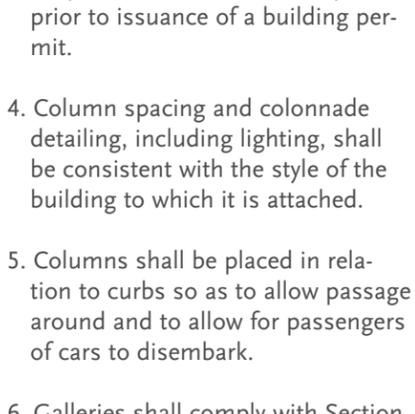
Landscaping is not required. Vines may be located at the gallery columns and shall be planted on grade in vine pockets located between the columns and street curb. Planter boxes or pots may be placed in between columns to provide enclosure for such uses as cafe seating provided that adequate pedestrian access is maintained.

As allowed by Table 7 for the applicable zoning district, signage is located within the storefront and / or hanging from the gallery ceiling. Canopies and awnings are not allowed.

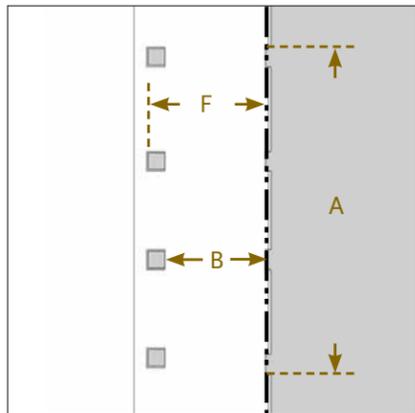
B. Design Standards.



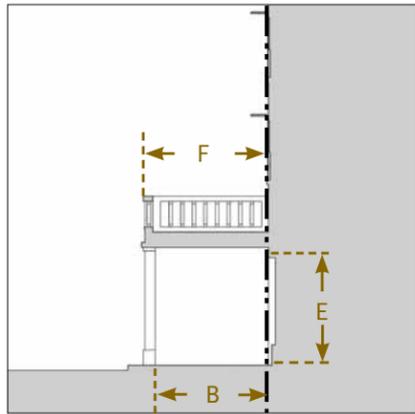
Plan Diagram 6B.1



Section Diagram 6B.2



Plan Diagram 6B.1



Section Diagram 6B.2

1. Galleries shall comply with the size requirements of Table 6B to be large enough in dimension to allow passage along the sidewalk without impediments both horizontally and vertically.
2. Galleries shall be combined with the Shopfront frontage type (Table 6C).
3. Galleries may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit.
4. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
5. Columns shall be placed in relation to curbs so as to allow passage around and to allow for passengers of cars to disembark.
6. Galleries shall comply with Section 6.2A, General Requirements, as applicable.

KEY TO TABLES 6A AND 6B

Frontage Type	A	B	C	D	E	F
	Width along Facade	Clear Depth	Entry Height above grade	Fence/Wall/ Hedge Height	Clear Height	Encroachment into r.o.w. (min-max)
6A. Arcade	per A.3 of zoning district standards	12' min.	3' max	not allowed	12' min; 15' min in CBD 1, CBD 2, CC	min 5' clear max 5' from curb
6B. Gallery						

X Not Allowed

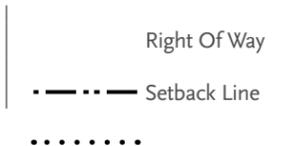


TABLE 6C SHOPFRONT



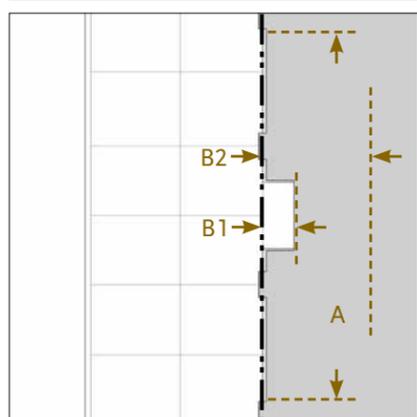
A. Description and Intent: Shopfronts are large openings in a facade that is at or near the sidewalk, enclosed with doors and transparent glass in a storefront assembly. This traditional retail frontage type is often provided with canopies or awnings, which may be fixed or retractable, to shelter pedestrians and shade the storefront glass from glare. The building entrance is at the grade of the sidewalk, and provides direct access to the commercial/retail uses on the ground floor. The storefront assembly may be recessed, as allowed by the zoning district, to provide a widened sidewalk or a covered area for outdoor dining.

Awnings, shed roofs, or canopies may encroach into the public right-of-way and cover the sidewalk within two feet of the curb.

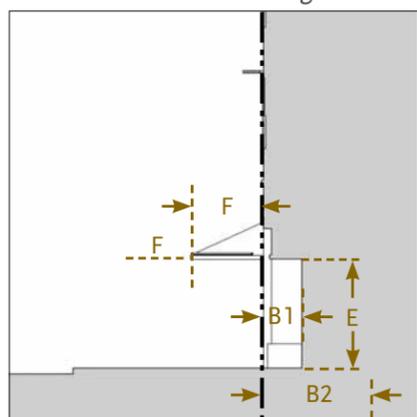
Landscaping is not required as the public streetscape serves that purpose. Vines grown in vine pockets or planter boxes at the building facade are allowed and may encroach into the public way as identified.

As allowed by Table 7 for the applicable zoning district, signage is located in a variety of places ranging from the storefront, wall, awnings and signs within the sidewalk to signs that project over the sidewalk.

B. Design Standards.



Plan Diagram 6C.1



Section Diagram 6C.2

1. Storefronts shall comply with the size requirements of Table 6C to be tall enough to provide adequate view into ground floor spaces.
2. Storefronts shall occur at or near the property line per the building placement requirements in Section A.1 of the applicable zoning district.
3. Storefront glass shall be clear without reflective glass frosting or dark tinting.
4. Storefront windows may have clerestory windows (horizontal panels) between the storefront and second floor/top of single-story parapet. Glass in clerestory windows may be of a character to allow light, while moderating it such as stained glass, glass block, painted glass, or frosted glass.
5. Storefront bulkhead shall be 10 to 36 inches tall and of material similar or complementary to main materials of the building.
6. Shopfronts shall comply with Section 6.2A, General Requirements and 10.4E, as applicable.

TABLE 6D FORECOURT



A. Description and Intent: A Forecourt is a public space formed by a recess in the façade of a building. The Forecourt is typically at grade but may be raised from the sidewalk in compliance with ADA accessibility standards.

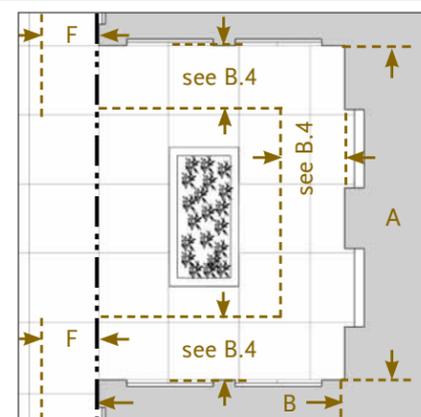
Forecourts are generally appropriate for commercial or civic uses, or when of sufficient size, they may be used for vehicular drop-off at a civic building or hotel. Forecourts may be combined with other frontage types as identified in the zoning district standards.

Forecourts may be further defined by low walls or landscape between the sidewalk and adjacent property line. Forecourts may be landscaped or paved. Landscape may include lawn, grasses, small shrubs, and accent trees with sufficiently transparent canopies to allow views of the building facade.

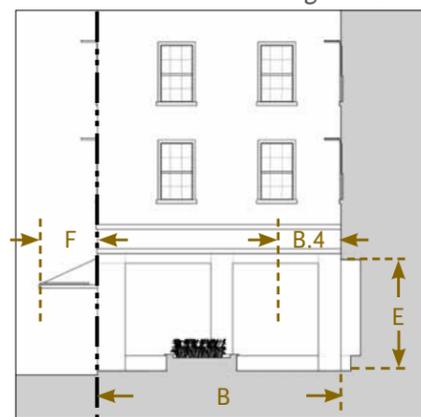
As allowed by Table 7 for the applicable zoning district, signage is located in a variety of places ranging from the storefront, wall, awnings and signs within the sidewalk to signs that project over the sidewalk.

B. Design Standards.

1. Forecourts shall comply with the size requirements of Table 6D to provide adequate view into ground floor spaces.
2. Forecourts may be elevated from the adjacent sidewalk by up to 4 feet. An elevated forecourt shall meet accessibility code for access with the building and the sidewalk.
3. Railings needed for elevated forecourts shall not visually obstruct views to or from the street and shall be designed to match the architectural style of the main building.
4. Forecourts shall be combined with the Shopfront Frontage (Table 6C).
5. Arcades, galleries, awnings, shed roofs or canopies may encroach into the forecourt for a cumulative 1/2 of the forecourt width and depth, respectively.
6. Forecourts shall comply with Section 6.2A, General Requirements, as applicable.



Plan Diagram 6D.1



Section Diagram 6D.2

KEY TO TABLES 6C AND 6D

Frontage Type	A	B1	B2	C	D	E	F
	Width along Facade (min-max)	Storefront Recess from PL (min-max)	Clear Depth (min-max)	Entry Height above grade	Fence/Wall/Hedge Height	Clear Height of shopfront assembly (min)	Encroachment into r.o.w. (min-max)
6C. Shopfront	per A.3 of zoning district standards	12' max	min 30'	must be at sidewalk grade	X	12' min except in CBD 1, CBD 2, CC;	2' min. from curb;
6D. Forecourt	12' - 60'	12' max	20' - 60'	4' max	3' max	15' min in CBD 1, CBD 2, CC	8' min vertical clear

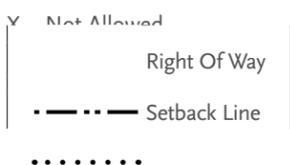


TABLE 6E LOADING DOCK

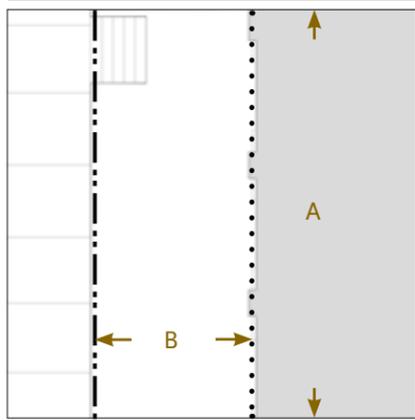


A. Description and Intent: The Loading Dock frontage is intended for industrial settings and may be used in urban settings that are no longer industrial. Exterior stairs are used to access the loading dock surface which is raised above the sidewalk level originally to facilitate the loading and unloading of goods into trains and trucks. For safety reasons, Loading Dock frontages utilize a railing, wall or fence at their perimeter.

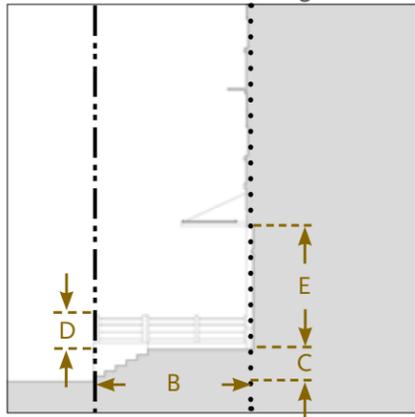
Landscaping is not required but if provided, may flank the entry stairs in planters or grade or in containers.

As allowed by Table 7 for the zoning district, signage is located on the building wall, projecting from the building and on awnings or canopies hanging over the loading dock surface.

B. Design Standards.



Plan Diagram 6E.1



Section Diagram 6E.2

1. Loading Docks shall comply with the size requirements of Table 6E to be large enough in dimension to allow passage along the loading dock surface without impediments both horizontally and vertically.
2. The exterior stairs can be perpendicular or parallel to the adjacent sidewalk but may not encroach into the right-of-way. The landing may be covered or uncovered in compliance with encroachment requirements in Table 6E.
3. In order to maintain visual connection with the adjacent sidewalk, the overall height of the railing at the perimeter of the loading dock shall not exceed 3 feet above the floor height of the loading dock.
4. Loading docks shall comply with Section 6.2C, General Requirements, as applicable.

TABLE 6F STOOP



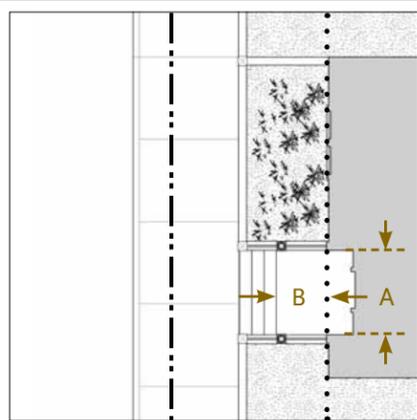
A. Description and Intent: Stoops are stairs that provide access from the adjacent sidewalk to the elevated ground floor, securing privacy for the ground floor rooms near and facing the public street and passersby. This type is suitable for ground-floor residential uses with short setbacks as each stoop corresponds directly to the building entry(s). A roof may cover the stoop.

Landscaping is required and typically flanks the stairs in planters or grade or in containers. Demarcating garden walls are allowed subject to the design standards in subsection B.

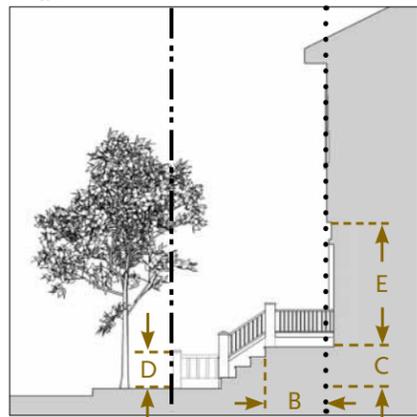
As allowed by Table 7 for the zoning district, signage is located on the wall, projecting from the building and within the front setback, as allowed.

B. Design Standards.

1. Stoops shall comply with the size requirements of Table 6F to be of such dimensions to allow for adequate access to the ground floor of the building.
2. The exterior stairs can be perpendicular or parallel to the adjacent sidewalk. The landing may be covered or uncovered.
3. Landscaping shall be located on the sides of the stoop at grade or in raised planters.
4. Low walls and/or fences up to 3 feet tall may be located within the front and/or side street setbacks provided that they are in compliance with all applicable requirements and that the materials and design are compatible with the architectural style of the building.
5. Stoops shall comply with Section 6.2B, General Requirements, as applicable.



Plan Diagram 6F.1



Section Diagram 6F.2

KEY TO TABLES 6E AND 6F

Frontage Type	A	B	C	D	E	F
	Width along Facade	Clear Depth	Entry Height above grade	Fence/Wall/ Hedge Height	Clear Height	Encroachment into r.o.w. (min-max)
6E. Loading Dock	per A.3 of applicable zoning district	7' min.	5' max	4' max above loading dock surface	10' min	X
6F. Stoop	4' min.	4' min.	6' max	6' max	8' min	X

X Not Allowed

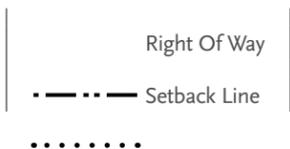


TABLE 6G PORCH

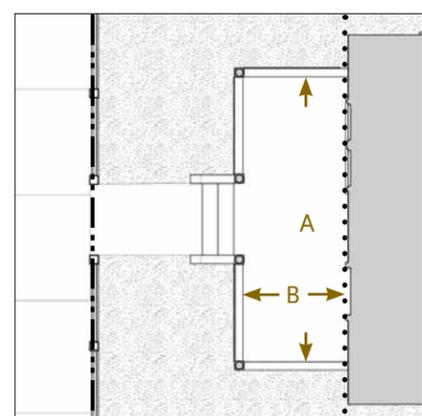


A. Description and Intent: The Porch frontage provides a physical transition from the sidewalk to the private lot and building while maintaining visual connection between buildings and the public space of the street. The porch frontage consists of a building with a front set back from the property line and a porch encroaching into the front yard. The Porch frontage accommodates non-residential as well as non-residential land uses.

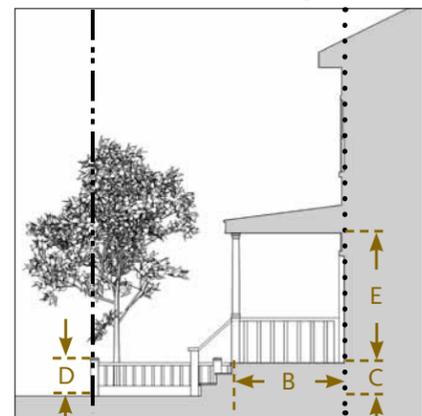
Landscape consists of the front yard and its improvements.

As allowed by Table 7 for the zoning district, signage is located on the building wall, hanging from the porch, on awnings, or projecting from the building as well as within the front setback.

B. Design Standards.



Plan Diagram 6G.1



Section

1. Porches shall comply with the size requirements of Table 6G to be of such dimensions to accommodate furniture.
2. The front yard may be enclosed by low walls or fences up to 3 feet tall, provided that the materials and design are compatible with the architectural style of the building.
3. The porch may extend around to encroach into the street sideyard within 1/2 of the required setback. If insufficient distance exists, the minimum porch depth shall be achieved by extending the porch into the building.
4. Awnings may be attached to the face of the porch provided that the awning is adequately supported and provided that the awning is compatible with the architectural style of the porch and building.
4. The average grade of the porch surface shall be within 6 feet of the adjacent sidewalk or public open space.
5. Porches shall comply with Section 6.2B, General Requirements and 10.4E, as applicable.

TABLE 6H FRONT YARD



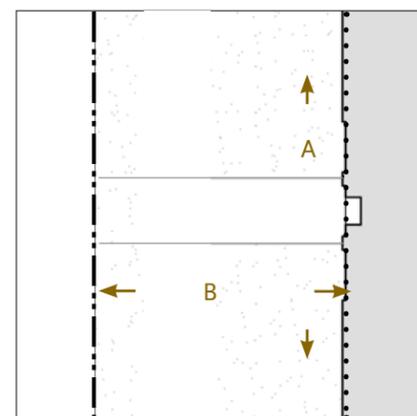
A. Description and Intent: Front yards provide a physical transition from the sidewalk to the private lot and building. Front Yard frontages consist of the building facade being set back from the front property line in a dimension large enough to create a front yard which is visually continuous with neighboring yards. The front yard may be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.

Landscape consists of the front yard and its improvements.

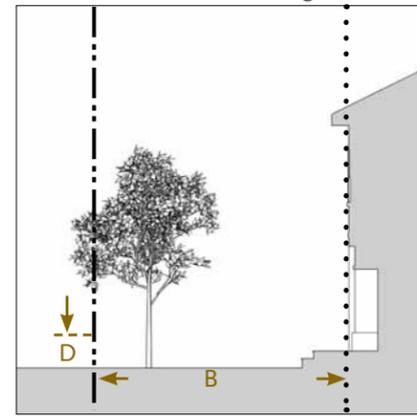
As allowed by Table 7 for the applicable zoning district, signage is located on the wall, within a porch, on awnings, projecting from the building.

B. Design Standards.

1. Front Yards shall comply with the size requirements of Table 6H to be of such dimensions to achieve visual compatibility with adjacent buildings.
2. Front Yards shall be at similar elevations above grade, no more than 3 feet above the adjacent sidewalk. When Front Yards are raised from the level of the sidewalk, the resulting wall shall be decorative and clad in brick or stone (natural or veneer subject to Section 10.2B.7).
3. The front yard may be enclosed by low walls or fences up to 3 feet tall, provided that the materials and design are compatible with the architectural style of the building.
4. Awnings may be attached to the face of the building provided that the awning is adequately supported and provided that the awning is compatible with the architectural style of the building.
5. A parking court is allowed when less than 1,000 square feet, single-loaded, and behind a garden wall or hedge up to 4 ft tall at least 15 feet from the sidewalk.
6. Front Yards shall comply with Section 6.2B, General Requirements, as applicable.



Plan Diagram 6H.1



Section

Diagram 6H.2

KEY TO TABLES 6G AND 6H

Frontage Type	A	B	C	D	E	F
	Width along Facade	Clear Depth	Entry Height above grade	Fence/Wall/ Hedge Height	Clear Height (min)	Encroachment into r.o.w. (min-max)
6G. Porch	12' min.	8' min.	2' min; 3' max w/in 10' of PL; 6' max w/in 20' of PL	3' max	8'	X
6H. Front yard	per A.3 of applicable zoning district	per A.3 of applicable zoning district	2' min; 4' max	3' max above grade of yard	not applicable	not applicable

X Not Allowed

